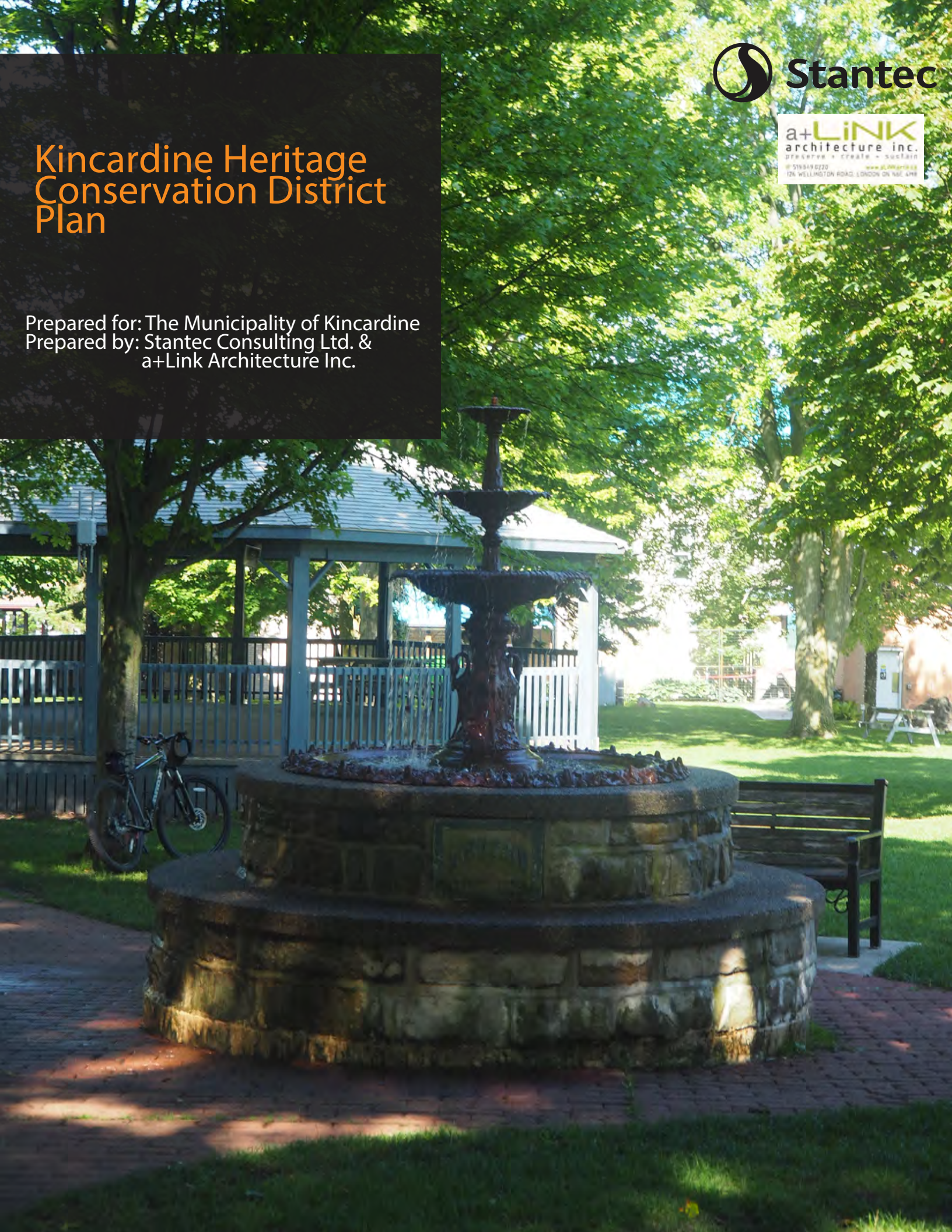


Kincardine Heritage Conservation District Plan

Prepared for: The Municipality of Kincardine
Prepared by: Stantec Consulting Ltd. &
a+Link Architecture Inc.





Design with community
in mind



Kincardine Heritage Conservation District Plan

DRAFT

March 1, 2021

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KINCARDINE HERITAGE CONSERVATION DISTRICT PLAN

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Executive Summary

The Municipality of Kincardine (the Municipality) retained Stantec Consulting Ltd. (Stantec) and a+LINK Architecture (a+LINK) in 2020 to prepare the Kincardine Heritage Conservation District (HCD) Plan as part of the process to designate a portion of downtown Kincardine under Part V of the *Ontario Heritage Act* as an HCD.

An HCD is protected by a municipal by-law passed under Part V of the *Ontario Heritage Act*. The purpose of an HCD is to conserve a community's heritage resources by creating policies and guidelines to manage change when alterations, additions, landscaping, streetscaping or new development occur over time. Changes in the HCD are managed through a system of heritage alteration permits and the guidance of the contents in this HCD Plan.

HCDs are not intended to stop all change or 'freeze' a place within a specific time period. Rather, they are an important community tool for balancing the ongoing needs for property maintenance and development while conserving the features that define a place and its history. Every HCD is unique and reflects the history and values of a community.

The HCD consists of a streetscape of commercial properties along Queen Street forming the commercial core of Kincardine, a streetscape along Princes Street of detached, predominantly late 19th century to early 20th century residential buildings, and a mixed streetscape of residential and commercial structures on Lambton Street, Harbour Street, Durham Market North, and Durham Market South. Within the mixed streetscape is an example of a 19th century public space in Victoria Park. The HCD contains the historic cultural and commercial core of Kincardine and is characteristic of the development of the community in its connection to early merchants and industrialists.

The following are the key objectives to establish and implement the HCD Plan in Kincardine, and are to be followed by Municipal Council when considering heritage alteration permit applications or Municipal undertakings in the HCD:

- Maintain and enhance the existing low-rise downtown street wall of historic buildings from the late 19th and early 20th century.
- Maintain and enhance the existing low-rise residential neighbourhood of Princes Street with a mix of one to three storey dwellings of various architectural influences set in maintained landscaped, vegetated lots.
- Maintain and enhance the existing mixed use commercial and residential character of Durham Market North and South that provides a transition between the commercial and residential areas.
- Maintain and enhance the public open space areas.
- Maintain and enhance the mature trees within Victoria Park and along the Princes Street boulevard.



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- Encourage and support existing use or adaptive re-use of contributing buildings within the HCD.
- Encourage the retention of heritage building fabric, building profiles and traditional façade arrangements when considering adaptive re-use.
- Avoid the loss or demolition of heritage attributes or heritage fabric within the HCD.
- Encourage compatible redevelopment in the HCD.
- Collaborate with property owners and business owners to encourage and provide incentives for the conservation, restoration, and appropriate maintenance of heritage buildings.
- Initiate other studies and programs that support the implementation of an HCD for the downtown core and the continued enhancement of the downtown core.
- Encourage connectivity from within the HCD to the harbour, public parks and trails, and other community assets and heritage areas.
- Encourage the enhancement of the public realm and Municipally owned properties within the HCD in a manner compatible with the district character.

The policies and guidelines of this HCD Plan are intended for property owners, Municipal staff, Council and the Municipal Heritage Committee. By applying the principles, policies and guidelines of this plan, the cultural heritage value of Kincardine can be conserved for future generations as the community continues to grow and evolve.

The Executive Summary highlights key points from the report only; for complete information and findings the reader should examine the complete report.



Glossary

The following terms contained within the HCD Plan report have been derived from the *Ontario Heritage Tool Kit*, the *Standards for the Conservation of Historic Places in Canada*, the *Provincial Policy Statement* and architectural reference books listed in the HCD Study Report. Where terms are referenced in the glossary, the reference is contained within the body of the report. Many of the terms have been paraphrased and are combinations of definitions found in multiple sources, particularly those related to architectural styles and features. Where definitions are derived from their original form, their source is noted.

Adjacent: Real properties or sites that are contiguous or separated by a laneway, easement, right-of-way or roadway.

Alteration: To change in any manner.

Bargeboard: Boards or other decorative woodwork fixed to the edges or projecting rafters of a gabled roof. Sometimes called gingerbread or vergeboard.

Cladding: The external, non-structural material that protects the structural wall or frame from the weather.

Classical Revival: An architectural style popular between 1830 and 1860 that evoked Ancient Greek and Roman architecture. Common architectural features include columns, and pediments.

Contemporary: Refers to modern structures built after 1980.

Conservation: All actions or processes that are aimed at safeguarding the heritage attributes of a place so that it retains its heritage value and extends its physical life. This may involve preservation, rehabilitation, restoration, or a combination of these actions or processes.

Continuing Corridor: The vista of the streetscape is confined by buildings on either side of the road. It is experienced primarily vehicular, pedestrian, and cycling modality.

Contributing Resource: Those properties that directly support the statement of Cultural Heritage Value or Interest and Heritage Attributes of the HCD. These properties were designed or constructed in the mid-19th to early 20th century as part of the commercial core or residential area around it and retain historic building fabric or heritage features that distinguish them as older buildings of a particular era, type, or place.

Cultural Heritage Value or Interest (CHVI): As outlined in *Ontario Regulation 9/06 of the Ontario Heritage Act*, an individual property may be determined to have CHVI if it demonstrated design/physical value, historic/associative value, or contextual value. In the context of HCDs, the *Ontario Heritage Tool Kit* outlined that CHVI within an HCD may be expressed broadly as an area that demonstrates natural, historic, aesthetic, architectural, scenic, scientific, cultural, social, or spiritual value.



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Dormer: A window that projects from a sloping roof with a small roof of its own.

Edwardian: An architectural style popular between 1900 and 1930 with understated classical detailing and modern proportions. Typical features include stone lintels and sills, pilasters and columns, and hipped roofs.

Filtered Corridor: This is a continuing vista where the depth of view is shortened by topography (e.g., road grade dropping) and is typically experienced primarily vehicular, pedestrian and cycling modality.

Finial: An ornament added to the top of a gable or spire. Commonly used in Gothic Revival architecture.

Gable: The triangular portion of the wall beneath the end of a gabled roof.

Gabled Roof: A roof that slopes on two sides.

Gambrel Roof: A roof that has a double slope, with the lower slope steeper and longer than the upper one. A mansard roof is an example of this roof type.

Gateway: A significant vantage point defined by a key feature or features framing or marking the entry to an area.

Georgian: An architectural style popular from the late 18th century to about 1860. Typical features include gable roofs with prominent chimneys, a symmetrical front façade, and centred entrance with sidelights or transom.

Gothic Revival: An architectural style popular between 1830 and 1890 and found in many forms. Typical features include steep gables, bargeboard, drip mouldings, finials, and pointed arch windows.

Guideline: A recommended action that may be taken in a given situation. A guideline arises from a policy and is facilitated by a procedure.

Heritage Attribute: The physical characteristics of a property or resource that contribute to its cultural heritage value or interest.

Heritage Conservation District (HCD): An area or grouping of properties collectively designated pursuant to Part V, Section 41, of the *Ontario Heritage Act*.

Heritage Resource: A property or place of cultural heritage value or interest.

Italianate: An architectural style popular between 1850 and 1900. Typical features include round arched or segmental arch window openings, window hood moulds, dichromatic brick, decorative cornices, and brackets.

Landmark: A prominent structure because of architectural elements, historical importance to community, or contextual position.



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Lintel: A horizontal support usually made of brick, stone, or concrete that supports the weight above it, usually seen above windows.

Maintenance: The routine cyclical, non-destructive actions necessary for the long-term conservation of a protected heritage resource and its heritage attributes.

Mansard Roof: A roof that has a double slope with the lower steeper and longer than the upper one.

Mid-Century Modern: An architectural style popular between 1950 and 1970, typical features include low-pitched roofs, large rectangular windows, full length fixed pane windows, and contemporary materials such as siding, paneling, and modern use of brick and stone.

Municipal Heritage Committee: A municipal heritage committee is an advisory committee. A municipal heritage committee can help a community participate more directly in a municipality's decision-making process by broadening the scope of information that informs the decision-making process. In the Municipality of Kincardine, the Municipal Heritage Committee is "Heritage Kincardine" or its successor as chosen by Council.

Non-Contributing Resource: Properties that do not directly support the Statement of Cultural Heritage Value or Interest and Heritage Attributes of the HCD. These properties may have been constructed more recently or may be older properties that have been modified to such an extent that historic building fabric or detailing has been substantially altered, removed, or obscured.

Panoramic Views: Broad, non-enclosed views that may contain a visual mosaic of varied features, or broader 'textual' patterns of activities.

Part IV Designation: In reference to real property designated under Part IV of the *Ontario Heritage Act* by municipal by-law. The designation by-law for an individual designation should include a description of the property, a statement explaining the cultural heritage value or interest, and a description of the heritage attributes.

Period Revival: A style of architecture popular from about 1900 to 1940 and was a revival of late medieval and early modern French and English country house styles. Commonly expressed in Ontario through Tudor Revival architecture. Typical elements of Tudor-Revival include half timbering, steep gables, and the use of brick and stucco.

Policy: A statement or position that is adopted that provides the framework for a course of action.

Preservation: The action or process of protecting, maintaining, and/or stabilizing the existing materials form, and integrity of an historic place, or of an individual component, while protecting its heritage value.

Procedure: A course of action developed to implement and support a policy. Example: Heritage Alteration Permit Application.

Protected Heritage Property: Real property protected under the *Ontario Heritage Act* (including Part II – Section 22; Part IV- Section 27, 29, 34.5, 37; Part V, or Part V).



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Queen Anne: An architectural style popular between 1890 and 1910. Typical features include irregular plans, multiple rooflines, large porches, elaborate decorative detail, including shingles, brackets, bargeboard, spindlework, and stained-glass windows.

Rehabilitation: The actions or process of making possible a continuing or compatible contemporary use of an historic place, or an individual component while protecting its heritage value.

Renaissance Revival: A style of architecture popular from about 1870 to 1910 and was a revival of Italian renaissance era structures. Typical characteristics include flat roofs, segmental arch windows, columns, cornices, and pilasters. Commonly used in Ontario for commercial architecture.

Restoration: The action or process of accurately revealing, recovering, or representing the state of a historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

Romanesque Revival: An architectural style popular between 1880 and 1900. Typical features include prominent round arches, the use of rusticated stone on foundations and trim, short columns, and recessed entrances.

Second Empire: An architectural style popular between 1865 and 1880. Typical features include mansard roofs, dormer windows, hood moulds, decorative cornices, and brackets.

Segmental Arch Window/Opening: A window or opening with a circular arc of less than 180 degrees.

Sidelight: A window beside a door, forming part of the door unit.

Statement of Cultural Heritage Value or Interest: As outlined in the *Ontario Heritage Tool Kit*, this is a statement that describes the heritage values of the HCD, or why the area is considered to have merit as an HCD and includes a list of heritage attributes.

Significant: Resources that have been determined to have cultural heritage value or interest for the important contribution they make to our understanding of the history of a place, an event, or a people.

Terminating Corridor: The vista is of streetscape confined by buildings on either side of the road and terminated by buildings at end of street ('T' intersection) or other features. The vista is experienced primarily by vehicular, pedestrian and cycling modality.

Transom: A window located above a doorway, forming part of the door unit.

Vernacular: Built form that reflects local or regional materials, influences, patterns or themes. Vernacular properties typically have less ornamentation or different characteristics than buildings of an architectural style.

Vistas: Views enclosed by buildings/structures, landforms, and vegetation from a stationary vantage point.



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Vousoir: A series of wedge shaped or tapered blocks, usually made of brick or stone and forming an arch. Often utilized above windows.

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KINCARDINE HERITAGE CONSERVATION DISTRICT PLAN

Introduction
March 1, 2021

1.0 INTRODUCTION

1.1 ACKNOWLEDGEMENTS

During the preparation of the HCD Study and Plan, many individuals, groups and organizations provided valuable information on the community's rich history and their hopes for its future heritage. The project team wishes to acknowledge the following for their assistance and input during the project:

- The Municipality of Kincardine
- Municipality of Kincardine Council
- The Municipal Heritage Committee
- Bruce County Library—Kincardine Branch
- Bruce County Museum and Cultural Centre
- The Kincardine Business Improvement Area
- Property owners, business owners, residents and community members who attended public meetings and/or provided input into the project process and reports

1.2 PURPOSE OF THE HCD PLAN

The Municipality of Kincardine (the Municipality) initiated the Kincardine Heritage Conservation District Plan (the HCD Plan) to honour the cultural history and to designate the study area, in whole or in part, under Part V of the *Ontario Heritage Act* (OHA) as a heritage conservation district (HCD). HCD designations are policy-based tools that can help to manage change in a community by providing a distinct planning framework for conserving the Municipality's heritage and allowing compatible new design that co-exists with the historic fabric, rather than freezing a place in time.

The HCD Plan is the second phase in the HCD process. The first phase of the process, the HCD Study, was completed in December 2019 and determined that the study area and an additional section of land on Harbour Street between Queen Street up to and including the lighthouse and Walker House, demonstrated merit as an HCD. In March 2020, Council voted to proceed with the preparation of an HCD Plan and retained Stantec Consulting Ltd. (Stantec) and a+LINK Architects (a+LINK) to prepare the Plan.

The HCD Plan provides the tools for implementing designation under Part V of the OHA, providing the policies, guidelines and recommendations for property owners, Municipal Staff, the Municipal Heritage Committee and Council to manage change in the HCD and make decisions regarding the alteration of properties within the HCD boundary.



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As per the *Ontario Heritage Act* HCD Plans are required to contain the following content:

- A statement of objectives to be achieved in designating the area as a heritage conservation district
- A statement explaining the cultural heritage value or interest of the heritage conservation district
- A description of the heritage attributes of the heritage conservation district and of properties in the district
- Policy statements, guidelines and procedures for achieving the stated objectives and managing change in the heritage conservation district
- A description of the alterations or classes of alterations that are minor in nature and that the owner of the property in the heritage conservation district may carry out or permit to be carried out on any part of the property, other than the interior of any structure or building on the property, without obtaining a permit under section 42. 2005, c.6, s.31

This HCD Plan has been divided into several sections and subheadings for different topics and components as required above. Section 2.0 outlines the reasons for designation, the HCD boundary, statement of cultural heritage value and heritage attributes.

Section 3.0 contains the goals, objectives and principles of the HCD Plan.

Section 4.0 contains the HCD policies and guidelines for the development pattern, contributing resources, non-contributing resources, demolition, new development, parks and open space areas, streetscape and landscape for public and private realm, accessibility, sustainability, Part IV designations and adjacent properties to the HCD.

Section 5.0 provides an outline of how the HCD may be implemented and contains a summary of the HCD heritage alteration permit process, and a list of activities where permits are not required.

Section 6.0 provides a concluding statement for the HCD Plan.

Section 7.0 provides the key sources referenced in the HCD Plan.

1.3 IMPLICATIONS OF THE HCD PLAN

HCDs are intended to benefit the municipality and the community as a long-term strategic planning tool that helps to manage change in an area by conserving and celebrating local heritage. Over time, HCDs have the potential to conserve the individual features of an area and the collective sense of place. They can be important tools in revitalizing a community, with potential for economic spin-off and tourism opportunities. They can enhance community involvement in an area, and foster community identity and pride. HCDs have the potential to protect the investments that property owners make to their buildings by restoring heritage features or making compatible façade improvements, as all property owners are subject to the policies of the HCD Plan. This means that when owners make major investments in their



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building to restore and improve the façade, the value of these efforts may be less likely to be compromised by inappropriate adjacent development.

When implemented diligently, HCDs can conserve heritage for future generations, and have lasting benefits in a community.

HCDs are intended to:

- Create a planning process that respects a community's history and identity.
- Manage change with a process of heritage alteration permits for certain types of renovation, restoration, and new construction.
- Foster an appreciation of a community's heritage resources.
- Protect the integrity of buildings, streetscapes, structures, landforms and natural features.
- Promote cultural tourism.

HCDs are not intended to:

- Prohibit new construction or redevelopment.
- Cause owners to lose all property rights.
- Require all new construction match a specific historical style.
- Make owners require a heritage alteration permit for minor alterations.

Above all, it is important to note that property owners within an HCD will be responsible for following policies and guidelines when altering their property or planning new construction. New construction, demolition, and some alterations will require approval of a heritage alteration permit from Council. Minor alterations, such as those outlined in Section 5.3.3, do not require a heritage alteration permit.

It is important to be clear that implementing an HCD does not require property owners to automatically 'revert' their properties back to a specific time period, or to undo renovations that have already occurred. The purpose of the Plan is to manage changes going forward in the HCD so that future alterations, additions, and new development are compatible and sympathetic to the area's heritage character.

It is also crucial to recognize that the Kincardine HCD contains a wide variety of different property types, uses, and architectural/design influences, resulting from its evolution into a unique community. The HCD is expected to continue to evolve over time. Not all policies within the HCD plan will be a perfect fit for every situation, and some alterations, proposals or changes not considered in this plan may need to be considered on a case-by-case basis. It is the job of Municipal Staff, property owners and Council to apply these policies and guidelines in a consistent, careful and considered manner, in accordance with the objectives of the HCD Plan.



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1.4 HOW TO USE THE HCD PLAN

Owners of property within the HCD (Figure 1 and Figure 2) and the Municipality are expected to consult the HCD Plan when considering alterations, additions, or demolitions to property within the HCD boundary. For private property owners, it is encouraged that you first identify whether you are a contributing property or non-contributing property (See Figure 3 or Appendix A for a list). From there, consider the project you are planning and consult the Plan to determine whether the work will require a heritage alteration permit (See Section 5.3.3). If so, review the guidance in the plan specific to your property type, building type, and project type and prepare an application for a heritage alteration permit in line with the policies and guidelines. It is always encouraged that you consult with the Municipality early in the process to help guide your application.

When the Municipality is planning changes within the HCD boundary, Council must review the proposed plans and only approve changes that are in keeping with the character of the HCD. Municipal staff, the Municipal Heritage Committee and Council are all expected to review and follow guidance in the HCD Plan.

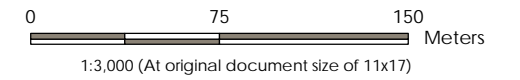
Property owners and developers of property adjacent to the HCD are not subject to the policies and guidelines of the HCD Plan, but in accordance with the Provincial Policy Statement (PPS), may not develop adjacent to an HCD in a manner that adversely impacts its heritage character. Adjacent development must follow the process outlined in Section 4.13.

Policies and guidelines have been categorized by building type for ease of reference and organized by the typical features that are common on each building type. While a building may accommodate many uses over time, the original use often determined important factors such as height, massing, façade organization, roof type, and architectural details. In most cases, the building use is an indicator of its type (e.g., residential, commercial). However, conversions from historic use to existing uses have occurred over time. Therefore, to determine which policies are applicable to your property, refer to Figure 4 or Appendix B for the historic use.





- Legend
- HCD Boundary
 - Property Parcel



- Notes
1. Coordinate System: NAD 1983 UTM Zone 17N
 2. Base features produced under license with the Ontario Ministry of Natural Resources and Forestry © Queen's Printer for Ontario, 2018.
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Project Location: 160940659 REVA
 Municipality of Kincardine, ON
 Prepared by BCC on 2020-10-28
 Technical Review by MR on 2019-12-19
 Independent Review by CV on 2019-12-19

Client/Project:
MUNICIPALITY OF KINCARDINE
KINCARDINE HERITAGE CONSERVATION DISTRICT
PLAN

Figure No.
1

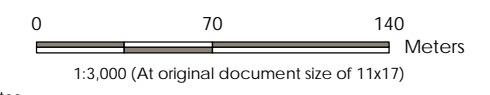
Title
Kincardine HCD Boundary

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- Legend
- Property Parcel
 - Character Areas
 - Durham Market Area
 - Princes Street Residential Area
 - Queen Street Commercial Area



- Notes
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 Independent Review by CV on 2019-12-19

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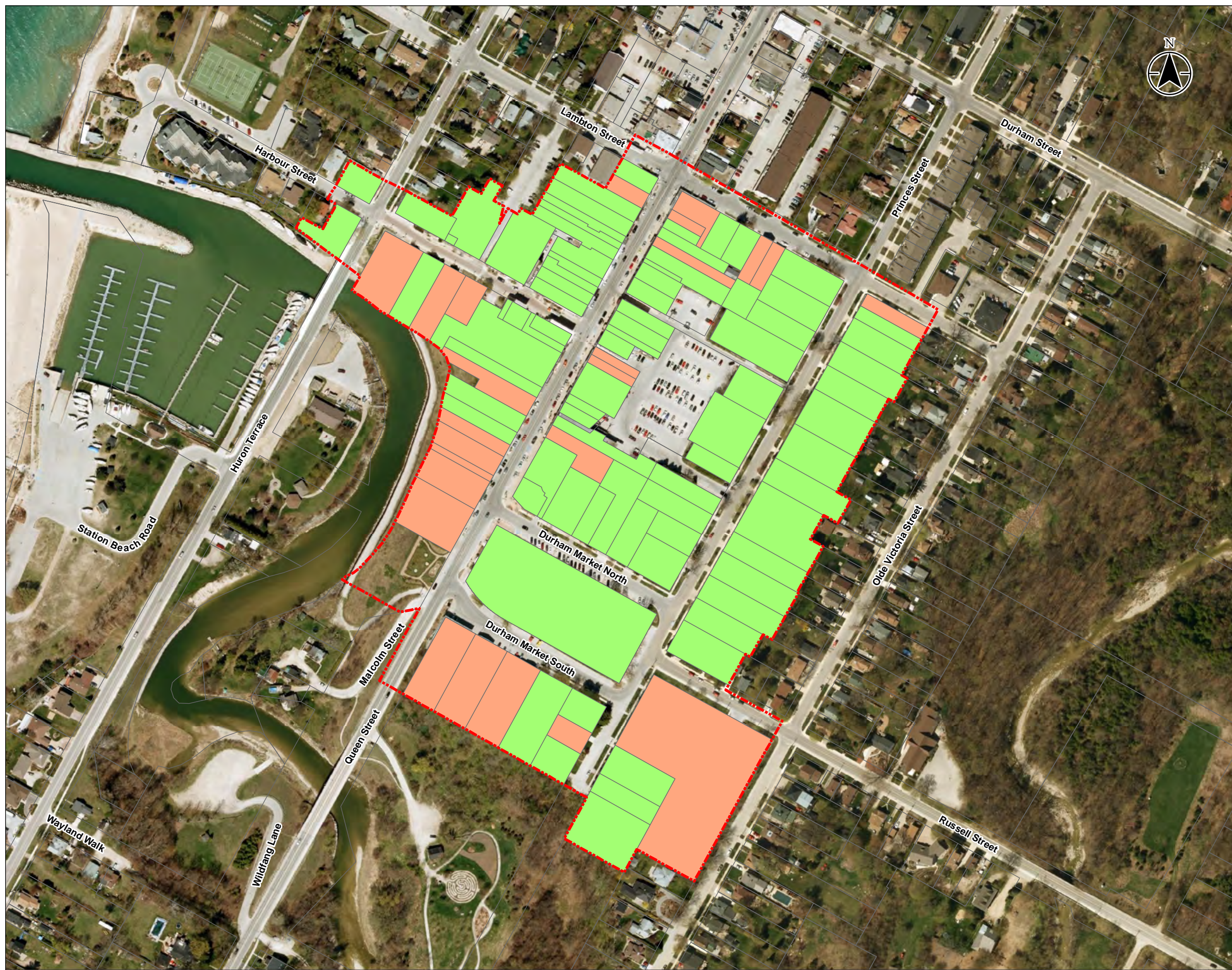
Figure No.
 2

Title
 Character Areas





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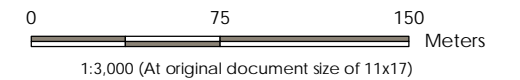
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Legend

-  HCD Boundary
-  Property Parcel
-  Contributing Property
-  Non-Contributing Property



Notes

1. Coordinate System: NAD 1983 UTM Zone 17N
2. Base features produced under license with the Ontario Ministry of Natural Resources and Forestry © Queen's Printer for Ontario, 2018.
3. Property data and Orthoimagery © 2019 County of Bruce, imagery date 2015.



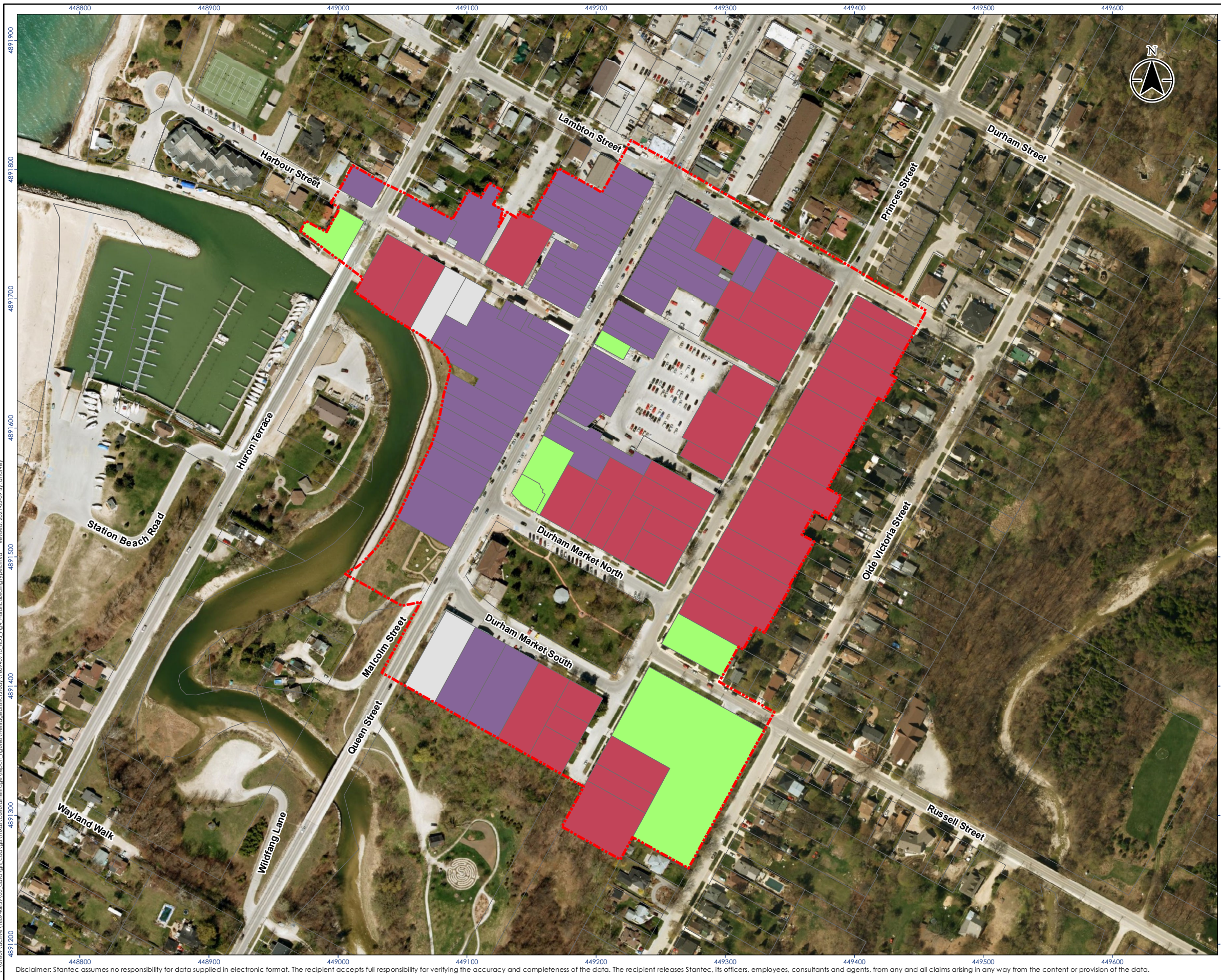
Project Location
Municipality of
Kincairdine, ON







160940710 REVA
Prepared by DH on 2021-03-01

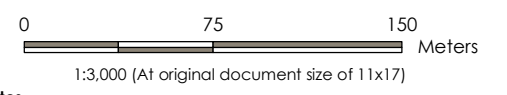
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MUNICIPALITY OF KINCARDINE
KINCARDINE HERITAGE CONSERVATION DISTRICT
PLAN

Figure No.
3

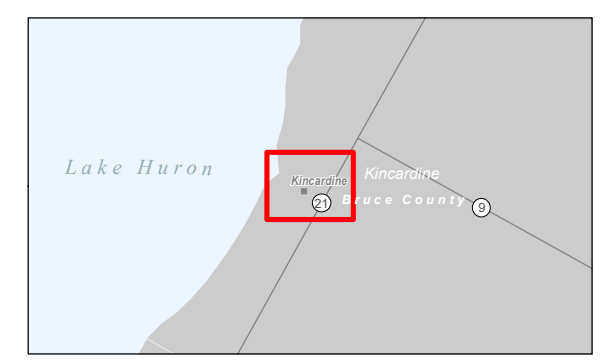
Title
Contributing and Non-Contributing
Properties



- Legend**
-  HCD Boundary
 -  Property Parcel
- Building Type**
-  Civic/Institutional
 -  Commercial
 -  N/A Vacant
 -  Residential



- Notes**
1. Coordinate System: NAD 1983 UTM Zone 17N
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Project Location: Municipality of Kincardine, ON
 160940710 REVA
 Prepared by DH on 2021-03-09

Client/Project:
 MUNICIPALITY OF KINCARDINE
 KINCARDINE HERITAGE CONSERVATION DISTRICT
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Figure No.
4

Title
Historic Building Types

2.0 HERITAGE CONSERVATION DISTRICT BOUNDARY AND CHARACTERISTICS

2.1 RECOMMENDED HCD BOUNDARY

During the HCD Study phase, the analysis of the downtown identified cultural heritage value or interest in the area and merit as an HCD. The recommended boundary for the Kincardine HCD consists of the properties along both sides of Queen Street from Durham Market South to Lambton Street, the properties along both sides of Princes Street from its southern terminus to Lambton Street, the entirety of Durham Market North and South, Victoria Park, the south side of Lambton Street between Queen Street and Princes Street, and Harbour Street between Queen Street to Huron Terrace, plus the lighthouse and Walker House properties (Figure 1).

The HCD consists of three character areas; the Queen Street commercial core, the Princes Street Residential area, and the mixed used area of Durham Market Square/Victoria Park (Figure 2). These character areas contain different features and visual and spatial perspectives but intersect with each other through the street grid and have strong historical ties.

It is the understanding of the Project Team that there are historic views from within the proposed HCD boundary to Lake Huron. It should be noted that these views have not been included as heritage attributes for the proposed HCD, as the views extend beyond the boundary of the area to be designated. The OHA defines heritage attributes as “in relation to real property and includes all buildings or structures thereon”. The harbour and lakeshore were not included in a proposed HCD boundary as the historical integrity of the area relating to the former port town no longer remains.

2.2 REASONS FOR DESIGNATION

The HCD consists of a streetscape of commercial properties along Queen Street forming the commercial core of Kincardine, a streetscape along Princes Street of detached, predominantly late 19th century to early 20th century residential buildings, and a mixed streetscape of residential and commercial structures on Lambton Street, Durham Market North, and Durham Market South. Within the mixed streetscape is an example of a 19th century public space in Victoria Park. The HCD contains the historic cultural and commercial core of Kincardine and is characteristic of the development of the community in its connection to early merchants and industrialists.

The recommended boundary reflects both historical and visual considerations. The area includes a high concentration of buildings that were constructed during the late 19th and early 20th centuries, containing urban form and architecture representative of these eras. The boundary also contains a high degree of integrity, evident in the visual cohesion noted particularly in the commercial, residential, and mixed-use streetscapes. These are typically between one to three storeys in height, generally with consistent setbacks, and similarity in architectural styles, building materials, and building forms. These qualities contribute to the sense of time and place experienced within the proposed boundary area.



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Heritage Conservation District boundary and Characteristics
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2.3 STATEMENT OF CULTURAL HERITAGE VALUE

The Kincardine HCD boundary is located within the historic core of the former Town of Kincardine in the Municipality of Kincardine, Ontario. Located in close proximity to the Kincardine harbour, the mouth of the Penetangore River, and the former railway line, the proposed Kincardine HCD is an evolved area that forms the historic civic, cultural, and commercial heart of the community. This is reflected in the representative collection of late 19th and early 20th century commercial, mixed use, and residential properties that reflect the growth and development of Kincardine during that period. Specifically, this includes the commercial corridor along Queen Street, the stately residences located on Princes Street, and the civic buildings and open space areas, including a central marketplace, originally known as Durham Market Square and renamed as Victoria Park in 1897. The design of the Kincardine HCD includes a representative grid of streets laid out in a north to south and east to west orientation surrounding Durham Market Square.

The stately residences located on Princes Street within the Kincardine HCD reflect the prominence and economic success of Kincardine during the late 19th to early 20th centuries. The architecture is representative of late 19th to early 20th century building design and is partly influenced by the work of the local architect A.J. Evans, who favoured the Second Empire architectural style, which was popular in Ontario from about 1860 to 1900. Although the Second Empire style is not a rare or unique design style in Ontario, the influence of Evans has resulted in a higher proportion of Second Empire structures compared to other rural communities in southern Ontario.

The Kincardine HCD also contains structures that display a high degree of craftsmanship, including the civic structures at 719-723 Queen Street, the Kincardine Post Office and Customs House, 727 Queen Street, the Kincardine Library, and 756 Queen Street, the Baird Block, and 721 Princes Street, the Kincardine United Church. These structures were important civic, commercial, and religious structures within the community and the level of craftsmanship exhibited reflects the increased prominence and affluence of areas within the Kincardine HCD following its incorporation as a town in 1875.

The development of the area within the Kincardine HCD is historically associated with the role Kincardine played as an industrial centre and commercial hub in Bruce County during the 19th and early 20th century. With the establishment of the harbour as an important shipping port in Bruce County, Kincardine was well suited for industry and commercial activity. With the arrival of the railway, and the close proximity of Durham Market Square, Queen Street developed into an important commercial anchor of the community.

Alongside commercial growth, land within the Kincardine HCD attracted civic buildings and residential growth. The first civic building constructed within the proposed Kincardine HCD was the Old Town Hall, built in 1872 on land that was part of the Durham Market Square. As the prominence of Kincardine continued to grow, additional civic buildings were constructed on Queen Street, including the Post Office and Customs House and the Bruce County Library Kincardine Branch. The proximity to the thriving commercial and civic core of Kincardine encouraged residential growth on Princes Street and many prominent merchants and industrialists built stately residences on Princes Street.



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The Kincardine HCD contains contextual and visual value for its representative collection of commercial and residential properties which form a visually cohesive streetscape and character. The proposed Kincardine HCD contains a commercial section on Queen Street of predominantly attached commercial properties of similar height, setback, massing, and date of construction. Together, these commercial properties create a coherent streetscape and support the character of the commercial portion of the Kincardine HCD as a late 19th to early 20th century downtown area.

The residential section of the Kincardine HCD contains a collection of detached, predominantly late 19th to early 20th century residences that contain similar height, setback, massing, and date of construction. Together, these residences create a coherent streetscape and define the character of Princes Street as a residential neighbourhood of late 19th to early 20th century residences.

The Kincardine HCD also contains transitional areas containing a mixture of residential and commercial buildings, located on Durham Market South and Lambton Street. These areas serve as a visual transition and link between the other two parts of the proposed Kincardine HCD. The visual experience of the proposed Kincardine HCD includes landmark structures within the community such as the Post Office and Customs House, Kincardine United Church, and the impressive Second Empire residences, whose cupolas can be seen along much of Princes Street and Durham Market North breaking the tree line.

2.4 HERITAGE ATTRIBUTES

The following attributes have been identified as reflective of the cultural heritage value or interest of the Kincardine HCD:

- The high concentration of late 19th to early 20th century commercial buildings forming a commercial street wall along Queen Street, generally consisting of two to three storey buildings of purpose-built commercial character.
 - Architectural details of commercial buildings including voussoirs, window surrounds, drip moulds, segmental arch windows, classical motifs, decorative brick work, cornices, and friezes.
- Cohesive use of materials, setback, heights, and massing along Queen Street creating a predominantly unified visual commercial heritage streetscape.
- The high concentration of late 19th to early 20th century residential buildings along Princes Street, forming a cohesive residential streetscape, generally consisting of one and one half to two storey residences.
 - Architectural details of residences including decorative brick work, drip moulds, voussoirs, segmental arch windows, quoins, cupolas, projecting bays, bargeboard, porches, and fish scale shingles.
- Predominant use of brick as an exterior cladding.
- Cohesive use of materials, setback, heights, and massing on Princes Street creating a unified visual residential heritage streetscape.



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- Network of laneways providing access to the rear of commercial properties on Queen Street and providing access to Lambton Street and Princes Street.
- The presence of popular late 19th to early 20th century architectural styles such as Second Empire, Renaissance Revival, and Queen Anne.
- The landscape of Victoria Park, including pathways, fountain, mature trees, and monuments.
- Landscape and vegetative features of Princes Street including metal fencing, stone wall, mature street trees, and large boulevard.
- The landmark buildings in the Study Area which consist of large civic and religious buildings and grand Second Empire style residences:
 - 707 Queen Street (Old Town Hall)
 - 719-723 Queen Street (Post Office and Customs House)
 - 727 Queen Street (Public Library)
 - 721 Princes Street (Kincardine United Church)
 - 689 Princes Street
 - 343 Durham Market North
 - 776 Princes Street
- Views within the Study Area of the low-rise commercial, residential and mixed-use character with mature vegetation and open space, including:
 - The view along Princes Street from Lambton Street
 - The views along Durham Market terminating at Princes Street and Queen Street
 - The views along Harbour Street terminating at Queen Street
 - The views to Victoria Park from Queen Street, Princes Street, and Durham Market North and South



KINCARDINE HERITAGE CONSERVATION DISTRICT PLAN

Heritage Conservation District boundary and Characteristics
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2.5 CONTRIBUTING RESOURCES

Contributing resources are properties or buildings that directly support the statement of Cultural Heritage Value or Interest and Heritage Attributes of the HCD. These buildings were constructed in the late 19th and early 20th centuries, and many are representative of the Second Empire architectural style, popular in Ontario between 1860 to 1900. The development of the key areas of heritage fabric within the HCD include resources such as commercial, residential and civic buildings that represent the significance of the industrial and commercial growth in Kincardine in the late 1800s and early 1900s. Given the strong representation of these historic areas and their contribution to supporting the overall heritage value of the HCD, retaining the historic building fabric or heritage features that distinguish them as older buildings of a particular era, type, or place, are considered as part of this section.

DRAFT



KINCARDINE HERITAGE CONSERVATION DISTRICT PLAN

Heritage Conservation District Goals, Objectives and Principles
March 1, 2021

3.0 HERITAGE CONSERVATION DISTRICT GOALS, OBJECTIVES AND PRINCIPLES

3.1 GOALS AND OBJECTIVES

The ultimate goals of the HCD Plan are to provide a framework for decision-making in the HCD and manage change in a way that is compatible with the heritage character of the HCD. To achieve these goals, all Council decisions related to alterations, additions, new construction, and demolition in the HCD should align with the following objectives:

- Maintain and enhance the existing low-rise downtown street wall of historic buildings from the late 19th and early 20th century.
- Maintain and enhance the existing low-rise residential neighbourhood of Princes Street with a mix of one to three storey dwellings of various architectural influences set in maintained landscaped, vegetated lots.
- Maintain and enhance the existing mixed use commercial and residential character of Durham Market North and South that provides a transition between the commercial and residential areas.
- Maintain and enhance the public open space areas.
- Maintain and enhance the urban forest, containing mature trees within Victoria Park and along the Princes Street boulevard through conservation of original soils.
- Encourage and support existing use or adaptive re-use of contributing buildings within the HCD.
- Encourage the retention of heritage building fabric, building profiles and traditional façade arrangements when considering adaptive re-use.
- Avoid the loss or demolition of heritage attributes or heritage fabric within the HCD.
- Encourage compatible redevelopment in the HCD.
- Collaborate with property owners and business owners to encourage and provide incentives for the conservation, restoration, and appropriate maintenance of heritage buildings.
- Initiate other studies and programs that support the implementation of an HCD for the downtown core and the continued enhancement of the downtown core.
- Encourage connectivity from within the HCD to the harbour, public parks and trails, and other community assets and heritage areas.
- Encourage the enhancement of the public realm and municipally owned properties within the HCD in a manner compatible with the district character.



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Heritage Conservation District Goals, Objectives and Principles
March 1, 2021

3.2 PRINCIPLES

The principles at the core of an HCD Plan are drawn from heritage best practices established at the provincial, federal and international level through guiding documents and charters. The principles outlined in this report are derived from the 1964 Venice Charter, the 2007 *Eight Guiding Principles in the Conservation of Built Heritage Properties* and the 2010 *Standards and Guidelines for the Conservation of Historic Places*. The following principles form the basis of the HCD Policies and Guidelines:

- **Preserve the historic context:** A heritage building represents the individuals and periods from history that have been associated with it. The building records the original designer's and builder's intentions as well as the historic forces that were at play when it was built. Subsequent alterations to the building also record the historic context at the time of the alterations and should be considered when planning restorations, alterations or redevelopment.
- **Maintain and repair:** All buildings require some continuous methods of conservation as they are exposed to the constant deteriorating effects of weather and wear from use. Owners are encouraged to undertake appropriate repair and maintenance activities of heritage properties.
- **Find a viable social or economic use:** Buildings that are vacant or underutilized come to be perceived as undeserving of care and maintenance regardless of architectural or historic merit. Council and staff should actively encourage and support appropriate forms of adaptive reuse when necessary to preserve heritage properties.
- **Preserve traditional setting:** A building is intimately connected to its site and to the neighbouring landscape and buildings. Land, gardens, outbuildings and fences form a setting that should be considered during plans for restoration or change. An individual building is perceived as part of a grouping and requires its neighbours to illustrate the original design intent. When buildings need to change, there is a supportive setting that should be maintained.
- **Preserve original decoration and fittings:** Each building within the HCD that is linked to the history of the downtown contains elements and details of an intimate and smaller scale that define this association. The original exterior decorations such as wood, metal or brick cornices and parapets are all subject to weathering and the whim of style. Resist the urge to remove or update these features or to replace them with poor reproductions of the originals. Their form and materials are an inextricable part of the original design and should enjoy the same respect as the whole building. Where practical, fittings and equipment should be preserved or re-used.
- **Restore to authentic limits:** Resist the temptation to embellish a restoration and add details and decorations that would not have been part of the history of the building.
- **Employ traditional repair methods:** Deteriorated elements and materials that cannot be salvaged should be repaired or replaced with the same materials and inserted or installed in a traditional manner. In some cases, some modern technologies ensure better and longer lasting repairs than traditional methods and should be employed if proven to be an improvement.



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Heritage Conservation District Goals, Objectives and Principles

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- **Respect historic accumulations:** A building is both a permanent and a changeable record of history. The alterations that have been made since the original construction also tell part of the history of the place and the building. Some of those alterations may have been poorly conceived and executed and research may determine that they can be removed. Other alterations and additions may have merits that warrant incorporating them into the permanent history of the building. In many cases, it is unnecessary to fix a point in history as the target date for restoration. It is more appropriate to aim for a significant period in the history of the building and be flexible in accommodating more recent interventions that are sympathetic and have improved the historical or functional nature of the building.
- **Make new replacements distinguishable:** The construction eras and historical progression should be self-evident. Although new work should be sympathetic to the original and match or mimic as appropriate, it should not attempt to appear as if built as part of the original.
- **Understand the value of a historic place:** Refer to the heritage value and character defining elements to understand the significance of the HCD and to guide appropriate change.
- **Respect documentary evidence:** When repairing, restoring or rehabilitating historic buildings or features, rely on documentary evidence such as historic photographs, drawings or physical evidence where available. Avoid restoring based on conjecture.
- **Design alterations with reversibility in mind:** When making additions or alterations that may cover, obscure or remove original materials, consider methods that could be reversed in the future to retain the original features, materials and/or character.



KINCARDINE HERITAGE CONSERVATION DISTRICT PLAN

District Policies and Guidelines
March 1, 2021

4.0 DISTRICT POLICIES AND GUIDELINES

4.1 INTRODUCTION

The OHA requires that a district plan include a statement of policies in HCD Plans. A statement of policy provides consistent decision making within the HCD. Policies reflect the HCD Plan's objectives to maintain and enhance the character of the HCD boundary and character areas as outlined in Figure 1 and Figure 2. Policies clearly explain what changes and alterations are appropriate and likely to be approved in an HCD. Policies are intended to directly support the goals and objectives of the HCD and it is the Municipality and Council's responsibility to make decisions that are consistent with HCD policies. In this HCD Plan, policies are clearly indicated using phrases with words such as 'shall', 'must' or 'will'. This plan also contains guidelines. Guidelines may be used where there are various alternatives that help to support a policy. The provision of guidelines in this plan allows the Municipality and Council to take flexible approaches to heritage alteration permits and decisions in the HCD. Not all guidelines will be applicable in every situation, but through discussion with staff, property owners, the Municipal Heritage Committee and Council, the guidelines can be applied on a case-by-case basis once the policies have been met.

Guidelines may also be used where the community indicated through the consultation process that the priorities for these items are not as strong as other areas, but still want guidance to follow when making decisions.

The following sections contain the policies and guidelines for the overall development pattern of the HCD, alterations, additions, new construction and demolition. The sections are arranged by building type (commercial, residential, or civic/institutional), by type of action (alteration/addition), and by contributing and non-contributing properties, as each type of resource plays a different role in the HCD and must be managed accordingly. It should be noted that building type refers to the historical, purpose-built type of a building. Some buildings have been converted over time (e.g., from a residence to a business), but still retain the general outward appearance of their original use. Policies to preserve this outward character should aim to maintain original appearance regardless of the current use. To determine the historic type of your property, see Figure 4 in Section 2.0. To determine if your property is a contributing or non-contributing property, refer to Figure 3 in Section 2.0 or Appendix A. For an illustrated graphic that outlines the general approach to treatment of contributing and non-contributing buildings in the HCD, see Figure 5 and Figure 6.

Policies and guidelines are also provided for landscaping and streetscaping on public and private property, parks and open spaces. Additional considerations have been provided for accessibility, sustainability and alternative energy, Part IV designations within the HCD, and properties adjacent to the HCD.



1. Diagram provided by a+Link Architecture Inc.

Project Location: 160940710 REVA
Municipality of Kincardine, ON Prepared by BCC on 2021-02-17

Client/Project: MUNICIPALITY OF KINCARDINE
KINCARDINE HERITAGE CONSERVATION DISTRICT PLAN

Figure No. 5

Title: General Process for Contributing Buildings

GENERAL PROCESS FOR CONTRIBUTING BUILDINGS:

- 1. CONSERVE**, whenever possible, character defining elements and decorative features.
- 2. PROTECT AND MAINTAIN** original materials through appropriate cleaning and regular maintenance.
- 3. CONSERVE** heritage value by making minimal interventions wherever possible.
- When replacing historic features is necessary, **REPLACE** in kind or with sympathetic materials.
- Where change is required, use sympathetic designs and materials that **SUPPORT** the character of the building/area, but make new design distinguishable from historic designs.
- INFORM** restoration work with research and documentary evidence of the building's historic features (where available).
- When making major alterations, **DOCUMENT** changes and interventions.



ROOF AND PARAPETS:
Example: Conserve, repair and maintain character-defining roof features and materials such as chimneys, roof profiles, parapets, soffits and others.

WINDOWS:
Example: Conserve, repair and maintain character-defining elements to windows such as frames, glazing, muntin and sash profiles, dimensions of openings, hardware and others.

MATERIALS:
Example: Choose gentle cleansing methods and keep original materials visible from cover-up cladding.

FACADE PATTERNS:
Example: Conserve, repair and maintain character-defining elements to the facade such as stone and brick masonry, decorative brickwork, woodwork and metal panels, columns, pilasters and others.

SIGNAGE:
Example: Consider incorporating signage in the valence of awnings, canopies and using window decals and sandwich panels.

STOREFRONTS:
Example: Conserve, repair and maintain character-defining storefront elements such as recessed entrances, windows, doors, transoms, cornices and the materials they are made from.

ROOF AND PARAPETS:
 Example:
 Design new roofs with the intention of having the same massing and type as existing contributing buildings. Keep the massing and height of new buildings to match the existing surrounding buildings.

WINDOWS:
 Example:
 Try to maintain solid to void proportions from the existing streetscape in the design of new infill and non-contributing buildings.

MATERIALS:
 Example:
 Choose high quality materials that are historically relevant and contribute to the character of the street.

FACADE PATTERNS:
 Example:
 Avoid designing blank walls for new infill and non-contributing properties. Try to maintain the horizontal and vertical patterns of the streetscape created by windows and doors, and materials.

SIGNAGE:
 Example:
 Design signage that will not impose on the contributing properties and will keep the character of the street.

STOREFRONTS:
 Example:
 Avoid designing double height storefronts. Storefronts should match the proportion of glass on the ground floor of existing contributing buildings.



GENERAL PROCESS FOR NON-CONTRIBUTING BUILDINGS:

- 1. CONSERVE**, the general character of the streetscape and maintain the character defining elements.
- 2. PROTECT AND MAINTAIN** the existing massing and height of the neighborhood by designing new infill buildings that respect the massing, materials and features of the surrounding streetscape.
- 3. CONSERVE** the continuity of the "street wall" created by the lack of setbacks on the street. The façades of new infill buildings should be on the property line.
- 4. MAINTAIN** existing views and vistas when designing and altering non-contributing buildings.
- Design and alter infill and non-contributing buildings in a way that will **SUPPORT** the character of the building/area, but make new design distinguishable from historic contributing buildings.
- When making major alterations that will affect the streetscape, **DOCUMENT** changes, interventions and additions.

1. Diagram provided by a+Link Architecture Inc.

Project Location: Municipality of Kincardine, ON
 160940710 REVA
 Prepared by BCC on 2021-02-17

Client/Project: MUNICIPALITY OF KINCARDINE
 KINCARDINE HERITAGE CONSERVATION DISTRICT PLAN

Figure No. 6

Title: General Process for Non-Contributing Buildings

4.2 DEVELOPMENT PATTERN

The development pattern of the HCD is an important part of its historic character. The HCD contains different character areas that each have a slightly different development pattern based on the types of heritage resources and land uses present. The following policies and guidelines are organized by character area. To determine which character area a property is located in, refer to Figure 2.

4.2.1 Queen Street Commercial Character Area

The commercial core of Queen Street contains a street wall of primarily two and three storey brick buildings predominantly in vernacular and Renaissance Revival architectural styles, with consistent setbacks to the sidewalk.

Policies

- Maintain the historic development pattern of Queen Street, consisting predominantly of purpose-built two to three storey buildings with commercial form on the first storey and mixed-use form on subsequent stories.
- Maintain the development pattern of tightly abutting commercial buildings with narrow profiles and frontage on Queen Street and rear access through laneways, parking areas or parallel streets.
- Maintain the setting of commercial buildings with tight frontage to Queen Street, setbacks consistent with neighboring properties and abutting exterior walls where appropriate.
- Maintain the typical lot frontages on Queen Street of between 6 and 15 metres.
- Maintain the general rectangular/cuboid massing of buildings within the HCD.
- Maintain the characteristic of building widths consisting of a single historic lot, or visible architectural divisions on the elevation of wider buildings to give the appearance of lot-sized segments.

4.2.2 Durham Market Character Area

The Durham Market area has a mix of residential buildings, residential buildings converted to commercial use, commercial buildings and civic buildings, surrounding Victoria Park. The mix of structures allows for a visual transition between the commercial and residential areas. While the resources within this area are more varied than the commercial and residential areas, there is still visual coherence provided by a predominance of buildings dating to the late 19th and early 20th century with similar setbacks, building materials and heights.

Policies

- Maintain the historic development pattern of Durham Market North and South, consisting predominantly of purpose-built two to three storey residential and civic buildings.



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- Maintain the development pattern of single detached structures with shallow front yard setbacks and frontage facing Victoria Park.
- Maintain the characteristic of lot development consisting of a single building per lot, with side yard setbacks and individual driveway access typically situated on one side of the property.
- Maintain the typical lot frontage to Durham Market North and South between 14 and 28 metres.
- Maintain the general rectangular/cuboid massing of buildings within the HCD.

4.2.3 Princes Street Residential Character Area

Houses in the residential and mixed-use areas are also between one and three storeys, and a mix of vernacular and predominantly Queen Anne, Gothic Revival, and Second Empire styles, set in a landscape of generous lots with manicured lawn, landscaping and mature trees on boulevards and within the park.

Policies

- Maintain the historic development pattern of Princes Street, consisting predominantly of purpose-built one to three storey residential buildings.
- Maintain the development pattern of single detached structures with a range of shallow to deep front yard setbacks and frontage to Princes Street.
- Maintain the development pattern of a single building per lot, with side yard setbacks and individual driveway access typically situated on one side of the property.
- Maintain the typical lot frontage to Princes Street between 10 and 40 metres.
- Maintain the general rectangular/cuboid massing of buildings within the HCD.

4.3 COMMERCIAL PROPERTIES

4.3.1 Alterations to Contributing Commercial Properties

The area along Queen Street maintains a high proportion of contributing resources that support the commercial streetscape as a key commercial artery within the HCD, and Kincardine as a whole. There are several commercial properties within this area that contribute to the cohesive nature of this purpose-built corridor. The areas include design, massing, form, setback, materials and architectural character. The following outlines specific aspects of these contributing commercial properties for consideration as part of this HCD.



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4.3.1.1 Maintenance

Maintenance is crucial to the preservation of buildings in the heritage conservation district. Guidelines for the preservation and restoration of the buildings in the HCD are based on the *Standards and Guidelines for the Conservation of Historic Places*. General Maintenance guidelines can be found in Appendix C.

Policies

- Adhere to property maintenance standards of the Municipality of Kincardine Property Standards By-law as it applies to all properties within the municipality.

Guidelines

- Undertake regular maintenance and upkeep of the exterior of contributing resources as the appearance of these buildings and their visible exterior condition can greatly benefit and impact the overall character and feel of the downtown core. Regular maintenance and repairs of historic features and materials can enhance their longevity and avoid costly replacements in the future.

4.3.1.2 Façade Pattern

Façade patterns are the vertical and horizontal patterns created by architectural elements in the building elevations, such as windows, doors, roofs, building heights, storefronts and others. Façade patterns in the HCD include cohesive use of materials, setback, heights and massing along Queen Street that together create a unified visual commercial heritage corridor with a noted vertical division between commercial fronts, proportions of solid wall and openings, roof line heights and setback.

Policies

- Maintain and restore existing windows and doors in their original sizes. If interior room configurations are changed avoid visual changes that affect the exterior façade.
- Maintain and restore existing architectural elements that divide and break up the façade into smaller sections.
- Maintain and restore existing parapets and rooflines.
- Avoid covering up and building in existing openings.
- Avoid changing the existing façade elements by removing and altering architectural elements.
- Maintain overall setback that forms the unified, consistent streetscape and heritage fabric of the area.

Guidelines

- Should there be a part of the building that is beyond repair and cannot be restored, use materials and forms that restore by existing evidence or replace in kind or with sympathetic materials.



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- Avoid making imitations based on conjecture rather than evidence in documents or existing building elements.



Plate 1: Maintain the setback of properties along the streetscape façade that forms a consistent and unified heritage fabric along the street wall, as noted in the top left illustration. Deep setbacks from the street wall should be avoided, as noted in the top right illustration. If a setback exists, consider adapting this for a new infill project or an urban park.

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Plate 2: Maintain the rhythm of windows and doors in the façade that make up the traditional commercial/mixed-use façade pattern in the HCD.

4.3.1.3 Windows

Windows in the heritage area are important elements that contribute to the vertical and horizontal patterns of the district. Windows are often a significant heritage element of contributing resources and where original, efforts should be made to retain them.

Policies

- Conserve, repair and maintain rather than remove all important character-defining elements to windows and doors including but not limited to: steel, aluminum and wood frames and windows, muntin and sash profiles, dimensions of openings, operable double and single hung windows, original opening mechanisms and hardware and decorative surrounds.



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- Retain original wood framed windows wherever possible. Heritage windows can be as efficient as new thermal units if they are maintained properly. If maintained, they are longer lasting than the newer thermal units.
- Replace original windows when they cannot be repaired. Keep current proportions and glazing configuration. Keep operable. Retain and/or replace storms in-situ, with like-for-like, where original storms are present.
- Avoid blocking or altering the shape and size of existing historic window openings. It is strongly discouraged to seal windows shut.
- Avoid replacing original windows with units that are radically different than original in proportion, colour, functionality and configuration.
- Allow for replacement of contemporary windows with other contemporary windows. Maintain the original shape and opening of the window.

Guidelines

- If some windows have already been updated with contemporary units, they may be replaced with historically accurate windows based on documentary evidence or existing windows.

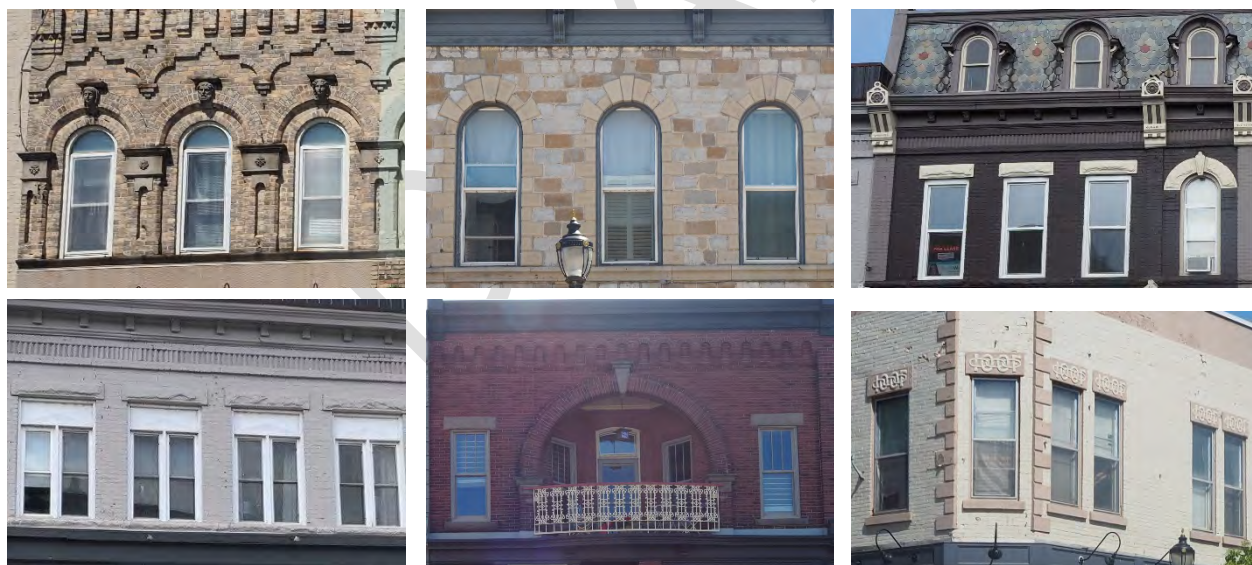


Plate 3: Examples of window types and shapes in the HCD. Rectangular, round arch and segmental arch are most common.



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4.3.1.4 Storefronts

Storefronts are on the ground floor of a building and they usually make up the commercial part of the building. They form the commercial core of the street and are a character defining element of commercial buildings.

Policies

- Conserve, maintain and restore features such as display windows, doors, transoms, cornices, corner posts and the materials they are made from, wherever possible.
- Avoid altering the geometry of the storefronts, such as recessed shop entrances and the width of the building and the display windows.
- Replace in kind or in a manner compatible to the character of the HCD where conservation and restoration of original storefront materials is not possible.
- Allow for awnings on commercial buildings, where they are sympathetic in materials and design.



Plate 4: Examples of storefronts within the commercial corridor of the HCD along Queen Street.

4.3.1.5 Exterior Materials

The majority of buildings in the Kincardine HCD are constructed with clay brick. Brick was a common construction material in the late 19th and early 20th century in Bruce County and Southwestern Ontario. It was used for structural construction, cladding/veneer and decoration. As a heritage attribute of the HCD, brick plays an important visual role in contributing to the district's sense of time and place along the commercial corridor of Queen Street. Stone and concrete were also used in building cladding and decoration in the late 19th and early 20th centuries. Over time, more contemporary materials have been used on more recent buildings and to cover the original materials of historic buildings.

Brick

Policies

- Avoid painting surfaces (especially exterior) such as brick masonry with acrylic paints as they create a non-permeable coating that does not allow for moisture to dry through the brick.



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- Clean masonry with gentle techniques where original brick has been heavily soiled, has graffiti or paint that is damaging to the masonry. However, any type of masonry cleaning is damaging to the material, so it is recommended that cleaning is done only when necessary.
- Avoid abrasive cleaning methods, such as sandblasting, sanding disks and grinders, as they clean by removing a small portion of the brick surface and permanently damage the material. Cleaning methods recommended for brick are water cleaning (the gentlest cleaning method) and chemical cleaning. Examples of cleaning with water are low pressure water cleaning and using detergents. When cleaning with water keep in mind freezing temperatures and time needed for brick to dry.
- Moisture is masonry's biggest challenge. The freezing of water under the surface of the brick will cause spalling.
- Maintain and restore brick masonry by using appropriate techniques for repointing and using compatible mortar. Older buildings use high lime content mortar, which is weaker than contemporary Portland cement mortar. Using appropriate mortar will prevent further deterioration. For more information on mortar type and mortar strength refer to Appendix C.
- Choose an appropriate mortar when repointing historic masonry. The mortar in masonry assembly is the sacrificial element, being the weakest in strength. Mortar strength should be appropriate to the brick so that all the thermal expansion happens at the mortar joints first. For more information on mortar type and mortar strength refer to Appendix C.
- Choose materials that are similar in kind, colour, strength and durability when using mortars and masonry units to replace existing deteriorated units. Using materials that are incompatible can cause more damage in the long term.

Guidelines

- Undertake repointing early in the year to allow mortar to dry and cure before cold weather sets in.
- Refer to the Standards and Guidelines for the Conservation of Historic Places, available online, for in depth information about masonry restoration.



Colour difference due to accumulation of dirt on brick. Cleaning for aesthetics reasons may be considered.



Elaborate brick detailing should be preserved.



A large percentage of the brick surfaces in the HCD have been painted. Avoid painting masonry or using abrasive cleaning techniques.

Plate 5: Considerations for Maintaining Brick in the HCD.



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Metals

Some buildings in the HCD feature metal framing, cladding or decorative elements. Identifying the type of metal will help to determine the most appropriate conservation, maintenance and cleaning techniques.

Policies

- Conserve historic metal features on front facades. Retain sound and repairable metals.
- Re-apply appropriate paint or coating to decrease corrosion rate.
- Stabilize deteriorated metals by reinforcement and weather protection.
- Determine the metal type and appropriate cleaning method. Soft metals such as lead, tin, copper, aluminum, brass, silver, bronze and zinc should be cleaned with non-abrasive methods. Use gentle cleaning methods on hard metals.

Guidelines

- Replace deteriorated or missing elements in kind or with sympathetic materials based on documentary evidence.
- Refer to the *Standards and Guidelines for the Conservation of Historic Places* for a more detailed list of recommendations for maintenance and preservation.

Woodwork

Policies

- Retain sound and repairable wood that contributes to the character of the building or HCD.
- Replace in kind or with sympathetic materials when repair is not feasible.
- Apply coatings which are compatible and only after proper surface preparation, such as cleaning with tri-sodium phosphate.

Guidelines

- Stabilize deteriorated wood by providing reinforcement and weather protection.
- Replace decayed or damaged wood and find cause of deterioration where possible to avoid future damage.
- Prevent water penetration and weathering by providing proper drainage.
- Refer to the *Standards and Guidelines for the Conservation of Historic Places* for a more detailed list of recommendations for wood maintenance and preservation.



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Plate 6: Examples of Wood in the HCD. Paneling, decorative detailing and pilasters are common.

Glass and Glass Products

Policies

- Retain historic glass, particularly decorative leaded or stained glass when possible.
- Replace irreparable or missing glass panels in kind or with sympathetic material, whenever repair is not possible.

Guidelines

- Protect glass from breakage, chipping and abrasion.
- Assess the reason for the breakage and deterioration of glass which might be due to its frame and structure.
- Consider contacting a knowledgeable and experienced practitioner when undertaking restoration of lead glass.

4.3.1.6 Overcladding

Overcladding is the covering of original materials with more modern materials. When covering original materials, important architectural elements of the building are hidden. Often, overcladding is done with the purpose of creating a more modern look to the façade but results in mismatching materials that are not in harmony with the surrounding buildings. Sometimes overcladding designs are done with the end goal of creating a “blank façade wall” which is undesirable as it does not relate to the street and the passerby.

Overcladding is not an appropriate substitute for maintenance. Covering up deteriorated facades does not solve the problem of regular maintenance and may create more serious problems such as rotting, rusting, cracking and spalling of brick and deterioration of mortar joints, which can cause serious structural issues. To properly maintain a historic building, overcladding should be avoided and existing overclad materials should be removed.



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Policies

- Avoid covering up original facades and elements with materials that do not complement the HCD, drastically change the look of the building, damage the original materials and create “blank walls”.

Guidelines

- Remove existing overcladding to reveal, repair, restore or appropriately replace historical elements underneath.
- Remove overcladding in sections if removal of all overcladding is not possible, keep overcladding in place with the intention of removing it in future.

4.3.1.7 Roofs and Parapets

The roofline of a streetscape in the HCD is not uniform but of similar heights between two to three stories. Roofs and parapets are an important character defining element and they are most important when visible from street level. Elements of the roof and parapet assemblies include: drip moulds, classical motifs, roof cornices and friezes, cupolas, turrets, cresting, chimneys, gutters, gables, eaves, parapets, dormers, soffits and fasciae, and components such as the cladding, substructure, insulation, vapour controls, flashing and ventilation. Roofs and parapets are particularly exposed to the elements more than any other part of the building and their maintenance is critical.

Policies

- Conserve, maintain and restore character defining roof and parapet features and original historic roofing materials.
- Maintain the original roof shape of the building (e.g., flat, gabled, hipped, etc.) and maintain the original pitch (high pitch, medium pitch, low pitch).
- Set features such as mechanical equipment, penthouses and other rooftop elements back from the façade line so that the new features are not visible from street level.

Guidelines

- Protect and maintain rooftop features by ensuring that water is properly drained through gutters, downspouts and roof drains.
- Repair based on historical evidence or replace in kind or with sympathetic materials when roof materials are deteriorated.
- Allow for contemporary roofing materials such as asphalt, metal, and composites where non-original roofing materials exist.
- Consider neutral colours (grey, black, brown) for roof pitches visible from the street.



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Plate 7: Examples of parapets and roof types in the commercial corridor of the HCD.

4.3.1.8 External Paint

Traditional oil-based paint such as linseed oil paint were used historically. When applied properly, oil-based paints are long-lasting and they are absorbed into surfaces, thus allowing them to penetrate and the materials to breathe. Contemporary oil-based paints are available from various companies.

Mineral based paints are appropriate for surfaces such as brick, stucco, metal, etc. Mineral based paints work like a stain rather than paint- they are long lasting, allow surfaces to breathe and they do not create an impermeable layer which keeps moisture from drying out.

Acrylic based paints are readily available and used prominently today. However, acrylic based paints might not be the best solution for historic buildings and especially materials such as masonry and wood. Keep in mind that acrylic paint creates a film on top of the surface it is painted on, and thus seals it, making the material unable to dissipate moisture.

It is important that in preparation the surfaces are cleaned properly from dirt and previous paint.

Policies

- Avoid painting masonry surfaces including brick is as it prevents the proper drying of the brick and ultimately damages the masonry.

Guidelines

- Avoid painting with colours that do not complement the character of the HCD, such as overly bright or neon colours. There are many paint companies that provide a heritage or historical selection that would be complementary in an HCD.
- Consider cohesive color schemes. Paint can have a dramatic effect on the building, highlighting different elements such as windows, trim, sculptural detail, etc.
- Consider identifying original paint colours, if desired. For owners who would like to determine the original colour of their building and have the financial means, a paint analysis can be conducted. For owners who are on a budget and want to find a close match to the original paint colour, it is advisable to peel off a small area of paint in an inconspicuous area of the building.



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- Consider consulting a heritage masonry specialist for exterior brick surfaces that have been already painted to determine whether to repaint peeling paint or remove paint completely.

4.3.1.9 Lighting

Policies

- Rehabilitate important heritage lights as needed to adapt to current lighting requirements and code requirements before opting for replacement.
- If replacing, consider lights similar in style and character to the contributing heritage resources.

Guidelines

- Provide external lighting that is compatible with the character of the area, and the contributing resources. Repair and replace original external light fixtures where possible with like-for-like. Consider low-profile, but similar in design, material and form to original lighting.
- Lighting is appropriate for illuminating commercial signage (e.g., 'gooseneck' lighting), address numbers, or entrances.
- Encourage use of energy efficient L.E.D. lights of an appropriate brightness to avoid excess light pollution. Lighting too bright appears harsh. When possible, businesses should try to match the colour temperature of municipal street lighting to provide a uniform appearance to the district.

4.3.1.10 Signage

Signage in a downtown commercial HCD is a crucial aspect of the urban fabric. It has an impact on the atmosphere of the street and it is very important for the well-being of businesses.

Policies

- Adhere to the Municipality of Kincardine Sign By-law
- Install signage in a manner that avoids covering windows or important elements of the building façade and is conducive to HCD properties.
- Avoid internally illuminated signs as per the Municipality of Kincardine Sign By-law
- Avoid 'pylon' style signage.

Guidelines

- Retain signs that are pre-existing and contribute to the character of the building.
- Incorporate signage in the valence of awnings, above storefronts, on canopies, sandwich boards, small-scale projecting or hanging items and temporary window decals.



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- Use signage that is an appropriate size to be read from across the street.



Plate 8: Examples of signage within the commercial streetscape of the HCD along Queen Street that support the historic character.

4.3.1.11 Side and rear elevations

Typically, HCD policies and guidelines focus on the front façade of buildings as these are most often experienced in the public realm. Within the HCD, many rear and side elevations are visible from side streets and parking areas. As such, guidelines have been prepared to address side and rear elevations.

Policies

- Maintain, repair, conserve or restore original cladding materials on side or rear elevations where possible.
- Maintain and upkeep side and rear elevations in accordance with Municipality of Kincardine Property Standards By-law.
- Complement the character of the HCD on rear elevations regarding material type, and proportion of material (e.g., brick/masonry or siding sizes compatible with surrounding buildings), and colour. Contemporary cladding materials are permitted on rear elevations of new construction, but should be compatible with the character of the area.

Guidelines

- Consider rear elevations not on corners for delivery access facilities, utility services, parking, outbuildings, satellite dishes, required roof vents, skylights, solar panels, and metal chimneys.

4.3.2 Alterations to Non-Contributing Commercial Properties

4.3.2.1 Maintenance

Policies

- Conduct regular maintenance on the property as needed, including side and rear elevations where visible from the public realm. Adhere to the Municipality's Property Standards By-law as it applies to all properties within the municipality.



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4.3.2.2 Façade patterns

Policies

- Support the character of the HCD when making changes in the façade composition of non-contributing buildings, by choosing complementary or compatible window and door openings, materials and proportions.
- Avoid designing “blank walls” with no window and door openings.
- Avoid double height storefronts when making alterations to non-contributing resources.
- Allow for awnings on commercial buildings, where they are sympathetic in materials and design. Awnings were historically used on commercial properties and can help non-contributing properties fit into the rhythm of the streetscape.

Guidelines

- Maintain a similar glass to solid material proportions in storefront compositions as in the surrounding HCD contributing resources.

4.3.2.3 Windows and Entrances

- Replace existing windows and entrances when required. Contemporary materials are appropriate for non-contributing buildings but should maintain the existing opening sizes and proportions of the window.
- Single entrances may be expanded to double entrances to improve accessibility but should adhere to universal accessibility requirements.
- Avoid covering up and filling in existing windows and entrances.
- Maintain the solid wall to openings proportions from the existing streetscape. Ground levels with store fronts should have higher proportion glazing on the ground floor, while second and upper levels should have less than 50% glazing.

4.3.2.4 Exterior Materials and Overcladding

Policies

- Removal of overcladding on non-contributing buildings is permitted. Care should be taken to remove to determine the presence of historic materials beneath that may change the course of an alteration permit.
- If historic fabric is present and Municipal staff, the Municipal Heritage Committee and Council agree that the building now meets the definition of a contributing property, guidelines for cladding in Section 4.3 should be followed.



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Guidelines

- If historic fabric is not present, replacement cladding may be installed. It is encouraged to use cladding that complements the character of the HCD, such as brick, stone, or wood cladding, particularly on the front (street-facing) façade of the building. Contemporary materials such as “hardie board” siding, aluminum and vinyl siding may also be permitted on a case-by-case basis. Exterior Insulation Finishing System (EIFS) should be avoided, as it is not sympathetic to the HCD character.
- Select materials that are complementary of the character of the HCD when renovating facades of non-contributing buildings. It is recommended to use materials already commonly found in the HCD such as brick as a dominant material that help to transition the non-contributing building into its surroundings.
- Overcladding of the ground floor area on commercial storefronts to cover display style windows or signage areas is strongly discouraged.
- Complement the character of the HCD on side or rear elevations visible from the public realm regarding material type, and proportion of material (e.g., brick/masonry or siding sizes compatible with surrounding buildings), and colour. Contemporary cladding materials are permitted on rear elevations of new construction but should be compatible with the character of the area.

4.3.2.5 Roofs and Parapets

Policies

- Replace roofing materials on an as-needed basis. Contemporary materials (asphalt shingles, metal or composite roofing) are appropriate.
- Maintain flat or low-pitched rooflines to be consistent with the HCD character.
- Protect and maintain rooftop features by ensuring that water is properly drained through gutters, downspouts and roof drains.
- Set rooftop mechanical equipment back from the roofline so that it is not visible from street level.

Guidelines

- Where roofing materials are visible from the street level and are to be replaced, encourage neutral colours (black, brown, grey).



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4.3.2.6 External Paint

Guidelines

- Choose a paint scheme that complements the existing colours of the contributing resources in the HCD, based on a historic colour palette or neutral shades that complement the historic character. Avoid overly bright or neon colours.

4.3.2.7 Lighting

Guidelines

- Consider external lighting that is compatible with the character of the area and is low-profile. Lighting is appropriate for illuminating commercial signage (e.g., 'gooseneck' lighting), address numbers, or entrances.
- Encourage use of energy efficient L.E.D. lights of an appropriate brightness to avoid excess light pollution. Lighting too bright appears harsh. When possible, businesses should try to match the colour temperature of municipal street lighting to provide a uniform appearance to the district.

4.3.2.8 Signage

Policies

- Adhere to the Municipality of Kincardine Sign By-law.
- Install signage in a manner that avoids covering windows or important elements of the building façade.
- Avoid internally illuminated signs as per the Municipality of Kincardine Sign By-law.

Guidelines

- Incorporate signage in the valence of awnings, above storefronts, on canopies, sandwich boards, small-scale projecting or hanging items and temporary window decals.
- Use signage that is appropriate size to be read from across the street.

4.3.2.9 Side and Rear Elevations

Guidelines

- Consider rear elevations not on corners for delivery access facilities, utility services, parking, outbuildings, satellite dishes, required roof vents, skylights, solar panels, and metal chimneys.



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4.3.3 Additions to Contributing Commercial Properties

The area along Queen Street supports a commercial heritage corridor that presents a unified heritage fabric and a visual representation of the history of trade, commerce and industry in Kincardine through the late 19th and early 20th centuries. Many of these contributing resources remain, now housing local restaurants, shops and other program spaces. Sometimes, these spaces and resources require additions to incorporate new uses, to make them more accessible or for other reasons. The following section outlines the high-level policies and guidelines in regard to the considerations for additions to contributing resources within the commercial streetscape of Queen Street. Some of these considerations include location, height and massing, architecture and style, windows, doors and entrances, and roof design. In any case, the following key aspects should be considered:

- New additions must not obscure, radically change or have a negative impact on contributing heritage resources, heritage elements, forms, use or exterior configuration. This includes adjacent heritage properties and contributing resources.
- Any additions considered must first document the contributing resource(s) affected.
- Additions to contributing resources, specifically heritage designated properties, should be reversible.

4.3.3.1 Location, Height, and Massing

The most important aspect of adding to a contributing resource involves consideration of the location, height and massing of the addition. New additions must be visually compatible with, yet distinguishable from, the contributing resources. Often, the location, height and massing play the key role in ensuring a proper balance between imitation versus pointed contrast, so that a happy medium is met that respects the heritage fabric. In the commercial corridor of the Kincardine HCD, consideration of additions must respect the contributing resources.

Policies

- Design additions to contributing resources to an appropriate height to contributing properties, no greater than the height of the existing building frontage on Queen Street.
- Design massing for new additions that is subordinate to the existing building. Additions should not cover or overwhelm the original structure but should not be too small in scale and size either.
- Locate additions to contributing buildings at the back of the building.
- Use shapes and massing that are compatible with the historic building and create a harmonious look with the surrounding buildings.
- Preserve original material when designing additions and minimize the removal of original building structure and materials; if material is removed, document, carefully remove, salvage and store.



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- Choose materials on additions that are distinguishable as contemporary design, and do not mimic historic architecture but complement its character.

Guidelines

- Rear additions may contain additional storeys only if they are set back at least five metres from the front building line. Additional storeys should not be greater than half of the original building's height (e.g., for two storey buildings, additions may extend one storey above the existing roofline, for a total of three storeys).

4.3.3.2 Architecture and Style

Architectural style includes many elements of a building and façade, including overall design of fenestration, storefronts as well as proportions, roof line design and details.

Policies

- Additions should consider the original architectural style of a building and consider a subtle approach that does not detract from the original heritage fabric, using compatible scale, proportions, openings and fenestration, materials and details that acknowledge the original buildings.
- Avoid changing the existing façade elements by removing and altering architectural elements during additions.
- Additions should maintain overall setback that forms the unified, consistent streetscape and heritage fabric of the area.

Guidelines

- Additions, if adjacent to a site on an infill property, should follow the guidelines for setbacks to maintain consistency with the street wall, and consider openings, fenestration, materials, and details that are sympathetic to the original building but also subordinate to it.
- Avoid covering up and building in existing openings to accommodate additions, where feasible.

4.3.3.3 Cladding Materials

The majority of buildings in the Kincardine HCD are constructed with clay brick. Brick was a common construction material in the late 19th and early 20th century in Bruce County and Southwestern Ontario. It was used for structural construction, cladding/veneer and decoration. Stone, concrete and wood were also common. New additions can incorporate these materials in a careful and considerate way, or consider complementary materials.



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Policies

- New additions can use similar materials and form as the original heritage building, but should be done so in such a way as to not cause confusion between what is original heritage fabric and what is a new addition.

Guidelines

- Consider complementary materials to existing buildings, especially when creating links between buildings, such as glass that can encourage a sense of transparency. This is especially important if the addition is large and creating a pause between new and old would be appropriate.

4.3.3.4 Windows and Entrances

Policies

- Windows in the heritage area are important elements that contribute to the vertical and horizontal patterns of the district. When considering new additions, align new windows, doors and the overall fenestration, so that it is consistent with the contributing resources.
- Consider the design, style and organization of openings so that it is clearly discernable from the original heritage fabric, but creates a harmonious relationship with that contributing resource.
- Contributing resources may be required to be upgraded to provide accessibility to meet current Building Code and accessibility requirements depending on the current or planned use. Additions created to provide universal access should make an effort to provide the highest level of access with the lowest level of impact on heritage value; for example, introducing a gently sloped walkway instead of a constructed ramp with handrails in front of a contributing resource.

4.3.3.5 Roofs

Policies

- The roofline of a streetscape in an HCD is not uniform but of similar heights between two to three stories. New additions should consider the rooflines and work to align with these rooflines. The design of new addition roofline should not necessarily replicate the original roofline, but be complementary.
- Set features such as mechanical equipment, penthouses and other rooftop elements back from the façade line so as not to deter from the streetscape, even on new additions.

Guidelines

- Protect and maintain rooftop features by ensuring that water is properly drained through gutters, downspouts and roof drains, and draining away from the original heritage building.



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4.3.3.6 Lighting

Policies

- Lighting on new additions should be complementary not only to the new building, but also to the contributing resources.
- New lighting on additions should not cause light pollution, or detract from, the original heritage elements, fabric and facades; backlighting should be avoided.

Guidelines

- Provide external lighting that is compatible with the character of the area, and the contributing resources.
- Lighting is appropriate for illuminating commercial signage (e.g., 'gooseneck' lighting), address numbers, or entrances.
- Encourage use of energy efficient L.E.D. lights of an appropriate brightness to avoid excess light pollution. Lighting too bright appears harsh. When possible, businesses should try to match the colour temperature of municipal street lighting to provide a uniform appearance to the district.

4.3.3.7 Signage

Signage in a downtown commercial HCD is a crucial aspect of the urban fabric. It has an impact on the atmosphere of the street and it is very important for the well-being of businesses.

Policies

- Adhere to the Municipality of Kincardine Sign By-law.
- Install signage on new additions that is complementary to the new additions as well as the heritage elements and fabric.
- Avoid internally illuminated signs as per the Municipality of Kincardine Sign By-law.

Guidelines

- Incorporate signage in a subtle, yet clearly discernible way, and so as not to confuse it with original heritage signage.
- Use signage that is an appropriate size to be read from across the street.



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4.3.4 Additions to Non-Contributing Commercial Properties

4.3.4.1 Height and Massing

Policies

- Design additions to non-contributing resources to an appropriate height to the HCD Character. Additions should be no taller than the existing building or immediately adjacent buildings.
- Rear additions may contain additional storeys, to a maximum of four storeys if approved by Council, only if they are set back at least five metres from the front building line. Each additional storey shall be set back from the street within a 45 degree angular plane.

4.3.4.2 Location

Policies

- Additions are preferred to the rear of existing buildings.
- Where space permits, and in compliance with municipal setback requirements, additions may be located at the side of a building but are to be set back from the front façade by at least one metre.

4.3.4.3 Materials

Guidelines

- Use materials that are complementary to the character of the HCD, especially if materials are visible from street level.
- Allow for sympathetic contemporary materials on non-contributing buildings.

4.4 RESIDENTIAL PROPERTIES

4.4.1 Alterations to Contributing Residential Properties

The area along Princes Street maintains a high proportion of contributing resources that support the residential streetscape within the Kincardine Heritage Conservation District. There are several detached residential properties within this area that create a unified visual heritage corridor with many residences' representative of the Second Empire, Queen Anne and Renaissance Revival styles, among others. These styles were popularized during the late 19th to early 20th century in Southwestern Ontario, and typically include one and one-half to two-storey residential buildings, with elements such as segmental arch windows, drip moulds, quoins, and cupolas. The architectural character, along with the massing, form, setbacks and heights of the Second Empire, Queen Anne, Renaissance Revival and vernacular designs contribute significantly to the visual cohesive nature of Princes Street as a heritage area. The following outlines specific aspects of the contributing residential properties for consideration as part of this HCD.



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4.4.1.1 Maintenance

Maintenance is crucial to the preservation of buildings in the heritage conservation district. Guidelines for the preservation and restoration of the buildings in the HCD are based on the *Standards and Guidelines for the Conservation of Historic Places*. General Maintenance guidelines can be found in Appendix C.

Policies

- Adhere to property maintenance standards of the Municipality of Kincardine Property Standards By-law as it applies to all properties within the municipality.

Guidelines

- Undertake regular maintenance and upkeep of the exterior of contributing resources as the appearance of these buildings and their visible exterior condition can greatly benefit and impact the overall character and feel of the residential core. Regular maintenance and repairs of historic features and materials can enhance their longevity and avoid costly replacements in the future.

4.4.1.2 Façade Pattern

Façade patterns are the vertical and horizontal patterns created by architectural elements in the main or key elevations of the residential properties, such as windows, doors, massing, form and heights. Façade patterns in the HCD include cohesive use of materials, setback, heights and massing along Princes Street that together create a unified visual residential heritage corridor that reflect architectural styles of the area. These patterns include datums created by single-storey front porch rooflines, one and one-half to two-storey massing, organization of fenestration along the first and second storeys, rhythm of two and three bays, use of buff brick as the primary façade material, and front-yard setbacks.

Policies

- Maintain and restore existing windows and doors in their original sizes. If interior room configurations are changed avoid visual changes that affect the exterior façade.
- Maintain and restore existing architectural elements that divide and break up the façade into smaller sections: Retaining the original form of one and one-half to two-storey residences in this area is critical to its heritage character.
- Maintain and restore existing parapets and rooflines, quoins, cupolas, projecting bays, front porches.
- Avoid covering up and building in existing openings.
- Avoid changing the existing façade elements by removing and altering architectural elements, especially the brick work, drip moulds, voussoirs, segmental arch windows, quoins, cupolas, projecting bays, bargeboard, porches and fish scale shingles.



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- Retain original setbacks to the front entrances from the street, typical of many of the residential properties in this area.
- Avoid removal of aspects of the façade that could result in “blank walls” with no window and door openings.

Guidelines

- Preserve and restore as the preferred primary methods for intervention with regards contributing resources. Should there be a part of the building that is beyond repair and cannot be restored, use materials and forms that restore by existing evidence or replace in kind or with sympathetic materials.
- Avoid making imitations based on conjecture rather than evidence in documents or existing building elements.



Plate 9: Maintain the datums created by single-storey front porch rooflines, one and one-half storey to two storey massing (as applicable), organization of fenestration along the first and second storeys, rhythm of two and three bays, use of buff brick as the primary façade material, and front-yard setbacks typical of traditional residential patterns in the HCD along Princes Street (Image Source: Google Streetview, 2020).

4.4.1.3 Windows and Doors

Windows in the heritage area are important elements that contribute to the vertical and horizontal patterns of the district.

Policies

- Conserve, repair and maintain rather than remove all important character- defining elements to windows and doors including but not limited to: steel, aluminum and wood frames and windows, muntin and sash profiles, dimensions of openings, operable double and single hung windows, original opening mechanisms and hardware and decorative surrounds.



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- Retain original wood framed windows wherever possible. Heritage windows can be as efficient as new thermal units if they are maintained properly. If maintained, they are longer lasting than the newer thermal units.
- Replace original windows and doors when they cannot be repaired. Keep current proportions and glazing configuration. Keep operable. Retain and/or replace storms in-situ, with like-for-like, where original storms are present.
- Avoid blocking or altering the shape and size of existing historic window and door openings. It is strongly discouraged to seal windows shut.
- Avoid replacing original windows with units that are radically different than original in proportion, colour, functionality and configuration.
- Allow for replacement of contemporary windows with other contemporary windows. Maintain the original shape and opening of the window.

Guidelines

- If some windows or doors have already been updated with contemporary units, they may be replaced with historically accurate windows based on documentary evidence or existing windows.
- Maintain the solid wall to openings proportions from the existing streetscape. Typically for residential properties this is less than 50% glazing per storey in height.



Plate 10: Examples of window and entrances located along Princes Street in the residential area of the HCD. Rectangular, round arch and segmental arch are most common. Many windows are 2/2 wood windows.

4.4.1.4 Porches

Porches are located on the main floor of residential buildings and they usually make up the public part of the building, allowing for relaxation as an extension of the indoor living area to the outdoors. They form the formal access to the outdoor sitting area and main entrance of a residence, and are a character defining element of the designated residential properties along Princes Street.



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Policies

- Conserve, maintain and restore features such as wood posts, beams, cornices, corner posts and the materials they are made from, wherever possible; typical materials include wood and iron or metal.
- Avoid altering the geometry of the porches, such as location of posts, openings for access, steps and decking, railings (posts and spandrels).
- Replace in kind or in a manner compatible to the character of the HCD where conservation and restoration of original porch materials is not possible.
- Avoid enclosing existing open porches with screens or other enclosures.

Guidelines

- If porches have already been updated with contemporary features, they may be replaced with historically accurate or historically appropriate porches based on documentary evidence or consideration of the typical features of the residence's architectural style or influence.



Plate 11: Examples of single-storey porches within the HCD. Typical construction includes wood post and beam, with decorative wood cornices, brackets, railings and spandrels.

4.4.1.5 Exterior Materials and Trim

The majority of buildings in the Kincardine HCD are constructed with clay brick. Brick was a common construction material in the late 19th and early 20th century in Bruce County and Southwestern Ontario. It was used for structural construction, cladding/veneer, and decoration. As a heritage attribute of the HCD, brick plays an important visual role in contributing to the district's sense of time and place along the residential streetscape of the HCD. Stone and concrete were also used in building cladding and decoration in the late 19th and early 20th centuries but were not as common. Over time, more contemporary materials have been used on more recent buildings and to cover the original materials of historic buildings.



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Brick

Policies

- Avoid painting surfaces (especially exterior) such as brick masonry with acrylic paints as they create a non-permeable coating that does not allow for moisture to dry through the brick.
- Clean masonry with gentle techniques where original brick has been heavily soiled, has graffiti or paint that is damaging to the masonry. However, any type of masonry cleaning is damaging to the material, so it is recommended that cleaning is done only when necessary.
- Avoid abrasive cleaning methods, such as sandblasting, sanding disks and grinders, as they clean by removing a small portion of the brick surface and permanently damage the material. Cleaning methods recommended for brick are water cleaning (the gentlest cleaning method) and chemical cleaning. Examples of cleaning with water are low pressure water cleaning and using detergents. When cleaning with water keep in mind freezing temperatures and time needed for brick to dry. Moisture is masonry's biggest challenge. The freezing of water under the surface of the brick will cause spalling.
- Maintain and restore brick masonry by using appropriate techniques for repointing and using compatible mortar. Older buildings use high lime content mortar, which is weaker than contemporary Portland cement mortar. Using appropriate mortar will prevent further deterioration. For more information on mortar type and mortar strength refer to Appendix C.
- Choose an appropriate mortar when repointing historic masonry. The mortar in masonry assembly is the sacrificial element, being the weakest in strength. Mortar strength should be appropriate to the brick so that all the thermal expansion happens at the mortar joints first. For more information on mortar type and mortar strength refer to Appendix C.
- Choose materials that are similar in kind, colour, strength and durability when using mortars and masonry units to replace existing deteriorated units. Using materials that are incompatible can cause more damage in the long term.

Guidelines

- Undertake repointing early in the year to allow mortar to dry and cure before cold weather sets in.
- Refer to the *Standards and Guidelines for the Conservation of Historic Places*, available online, for in depth information about masonry restoration.



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Plate 12: Considerations for maintaining brick in the residential area of the HCD include cleaning brick where staining and discolouration due to environmental issues or runoff, repointing brick mortar that is deteriorated.

Metals

Some buildings in the HCD feature metal gutters, cladding or flashings. Identifying the type of metal will help to determine the most appropriate conservation, maintenance and cleaning techniques.

Policies

- Conserve historic metal features on front facades. Retain sound and repairable metals.
- Re-apply appropriate paint or coating to decrease corrosion rate.
- Stabilize deteriorated metals by reinforcement and weather protection.
- Determine the metal type and appropriate cleaning method. Soft metals such as lead, tin, copper, aluminum, brass, silver, bronze and zinc should be cleaned with non-abrasive methods. Use gentle cleaning methods on hard metals.

Guidelines

- Replace deteriorated or missing elements in kind or with sympathetic materials based on documentary evidence.
- Refer to the *Standards and Guidelines for the Conservation of Historic Places* for a more detailed list of recommendations for maintenance and preservation.

Woodwork

Policies

- Retain sound and repairable wood that contributes to the character of the building or HCD.
- Replace in kind or with sympathetic materials when repair is not feasible.
- Apply coatings which are compatible and only after proper surface preparation, such as cleaning with tri-sodium phosphate.



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Guidelines

- Stabilize deteriorated wood by providing reinforcement and weather protection.
- Replace decayed or damaged wood and find cause of deterioration where possible to avoid future damage.
- Prevent water penetration and weathering by providing proper drainage.
- Refer to the *Standards and Guidelines for the Conservation of Historic Places* for a more detailed list of recommendations for wood maintenance and preservation.



Plate 13: Examples of Wood elements: decorative cornices, posts, triangular pediments, brackets and paneling along Princes Street in the HCD.

Glass and Glass Products

Policies

- Retain historic glass, particularly decorative leaded or stained glass when possible.
- Replace irreparable or missing glass panels in kind or with sympathetic material, whenever repair is not possible.

Guidelines

- Protect glass from breakage, chipping and abrasion.
- Assess the reason for the breakage and deterioration of glass which might be due to its frame and structure.
- Consider contacting a knowledgeable and experienced practitioner when undertaking restoration of lead glass.

4.4.1.6 Overcladding

Overcladding is the covering of original materials with more modern materials. When covering original materials, important architectural elements of the building are hidden. Often, overcladding is done with the purpose of creating a more modern look to the façade but results in mismatching materials that are



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not in harmony with the surrounding buildings and do not consider the original heritage attributes or character of an area.

Overcladding is not an appropriate substitute for maintenance. Covering up deteriorated facades does not solve the problem of regular maintenance and may create more serious problems such as rotting, rusting, cracking and spalling of brick and deterioration of mortar joints, which can cause serious structural issues. To properly maintain a historic building, overcladding should be avoided and existing overclad materials should be removed.

Policies

- Avoid covering up original facades and elements with materials that do not complement the HCD, drastically change the look of the house, or could damage the original materials.
- Care should be taken to remove cladding materials when exposing known original heritage materials underneath.
- If cladding is removed and materials are determined to be original heritage fabric, follow guidelines for intervention.

Guidelines

- Remove existing overcladding to reveal, repair, restore or appropriately replace historical elements underneath (preference for restore and repair before replacement).
- Remove overcladding in sections if removal of all overcladding is not possible, or keep overcladding in place with the intention of removing it in future.

4.4.1.7 Roofs

The roofline of a streetscape in the Princes Street area of the HCD is not uniform but of similar heights between two to three stories. Roofs and parapets are an important character defining element and they are most important when visible from street level. Elements of the roof and parapet assemblies include: drip moulds, classical motifs, roof cornices and friezes, cupolas, turrets, cresting, chimneys, gutters, gables, eaves, parapets, dormers, soffits and fasciae, and components, such as the cladding, substructure, insulation, vapour controls, flashing and ventilation. Roofs are exposed to the elements more than any other part of the building and their maintenance is critical.

Policies

- Conserve, maintain and restore character defining roof and parapet features and original historic roofing materials.
- Maintain the original roof shape of the building (e.g., flat, gabled, hipped, etc.) and maintain the original pitch (high pitch, medium pitch, low pitch).



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Guidelines

- Protect and maintain rooftop features by ensuring that water is properly drained through gutters, downspouts and roof drains.
- Encourage historically themed downspouts with reservoirs where appropriate.
- Repair based on historical evidence or replace in kind or with sympathetic materials when roof materials are deteriorated.
- Allow for contemporary roofing materials such as asphalt, metal, and composites where non-original roofing materials exist.
- Consider neutral colours (grey, black, brown) for roof pitches visible from the street.



Plate 14: Examples of roof types in the Princes Street character area of the HCD. Most roof types consist of gables, mansard or hipped roofs, many with dormers and decorative woodwork at the cornices and pediments. Several of the gable and hip roof types maintain medium to steep pitch.

4.4.1.8 External Paint

Traditional oil-based paint such as linseed oil paint were used historically. When applied properly, oil-based paints are long-lasting and they are absorbed into surfaces, thus allowing them to penetrate and the materials to breathe. Contemporary oil-based paints are available from various companies.



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Mineral based paints are appropriate for surfaces such as brick, stucco, metal, etc. Mineral based paints work like a stain rather than paint- they are long lasting, allow surfaces to breathe and they do not create an impermeable layer which keeps moisture from drying out.

Acrylic based paints are readily available and used prominently today. However, acrylic based paints might not be the best solution for historic buildings and especially materials such as masonry and wood. Keep in mind that acrylic paint creates a film on top of the surface it is painted on, and thus seals it, making the material unable to dissipate moisture.

It is important that in preparation the surfaces are cleaned properly from dirt and previous paint.

Policies

- Avoid painting masonry surfaces including brick as it prevents the proper drying of the brick and ultimately damages the masonry.

Guidelines

- Avoid painting with colours that do not complement the character of the HCD, such as overly bright or neon colours where possible. There are many paint companies that provide a heritage or historical selection that would be complementary in a residential area of an HCD.
- Consider cohesive color schemes. Paint can have a dramatic effect on the building, highlighting different elements such as windows, trim, sculptural detail, etc.
- Consider identifying original paint colours, if desired. For owners who would like to determine the original colour of their building and have the financial means, a paint analysis can be conducted. For owners who are on a budget and want to find a close match to the original paint colour, it is advisable to peel off a small area of paint in an inconspicuous area of the building.
- Consider consulting a heritage masonry specialist for exterior brick surfaces that have been already painted to determine whether to repaint peeling paint or remove paint completely.

4.4.1.9 Lighting

Policies

- Rehabilitate important heritage lights as needed to adapt to current lighting requirements and code requirements before opting for replacement.
- If replacing, consider lights similar in style and character to the contributing heritage resources.

Guidelines

- Provide external lighting that is compatible with the character of the area, and the contributing resources. Repair and replace original external light fixtures where possible with like-for-like. If replacing with new, use like-for-like wherever possible in scale, material and form to original.



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- Lighting is appropriate for illuminating address numbers or entrances, porches and laneway lighting.
- Encourage use of energy efficient L.E.D. lights of an appropriate brightness to avoid excess light pollution. Lighting too bright appears harsh.

4.4.1.10 Side and rear elevations

Typically, HCD policies and guidelines focus on the front façade of buildings as these are most often experienced in the public realm. Within the residential areas of an HCD, many rear and side elevations are visible even from the main streets, especially Princes Street, which is comprised of detached residences with side and rear setbacks. As such, guidelines have been prepared to address side and rear elevations.

Policies

- Maintain, repair, conserve or restore original cladding materials on side or rear elevations where possible.
- Maintain and upkeep side and rear elevations in accordance with Municipality of Kincardine Property Standards By-law.
- Complement the character of the HCD on rear elevations regarding material type, and proportion of material (e.g., brick/masonry or siding sizes compatible with surrounding buildings), and colour. Contemporary cladding materials are permitted on rear elevations of new construction, but should be compatible with the character of the area.

Guidelines

- Consider rear elevations not on corners for parking, outbuildings, satellite dishes, required roof vents, skylights, solar panels, and new chimneys, and addition.

4.4.2 Alterations to Non-Contributing Residential Properties

4.4.2.1 Maintenance

Policies

- Conduct regular maintenance on the property as needed, including side and rear elevations where visible from the public realm. Adhere to the Municipality's Property Standards By-law as it applies to all properties within the Municipality.



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4.4.2.2 Façade Patterns

Policies

- Maintain the overall proportions and façade pattern typical to a residential building if changes are made to the organization of a façade by adding, removing, or altering the location or position of windows and entrances.
- Support the character of the HCD when making changes in the façade composition of non-contributing buildings, by choosing complementary or compatible window and door openings, materials and proportions.
- Avoid designing “blank walls” with no window and door openings.

4.4.2.3 Windows and Entrances

- Replace existing windows and entrances when required. Contemporary materials are appropriate for non-contributing buildings, but should maintain the existing opening sizes and proportions of the original window.
- Avoid covering up and filling in existing windows and entrances.
- Maintain the solid wall to openings proportions from the existing streetscape. Typically for residential properties, this is less than 50% glazing per storey in height.

4.4.2.4 Porches

Guidelines

- Porches are permitted on non-contributing residential buildings. If new porches are proposed, they should be a single storey to be consistent with the majority of the HCD character.
- Open porches are encouraged over closed/screened porches.
- Porches (if present) may be removed from non-contributing buildings, provided there are no structural implications to their removal.

4.4.2.5 Exterior Materials, Overcladding, and Trim

Policies

- Removal of overcladding on non-contributing residential buildings is permitted. Care should be taken to remove to determine the presence of historic materials beneath that may change the course of an alteration permit.



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- If historic fabric is present and the Municipal staff, the Municipal Heritage Committee and Council agree that the building now meets the definition of a contributing property, guidelines for cladding in Section 4.3 should be followed.
- If historic fabric is not present, replacement cladding may be installed. It is encouraged to use cladding that complements the character of the HCD, such as brick, stone, or wood cladding, particularly on the front (street-facing) façade of the building. Contemporary materials such as “hardie board” siding, aluminum and vinyl siding may also be permitted on a case-by-case basis. Exterior Insulation Finishing System (EIFS) should be avoided, as it is not sympathetic to the HCD character.

Guidelines

- Select materials that are complementary of the character of the HCD when renovating facades of non-contributing buildings. It is recommended to use materials already commonly found in the HCD such as brick as a dominant material that help to transition the non-contributing building into its surroundings.
- Complement the character of the HCD on side elevations visible from the public realm regarding material type, and proportion of material (e.g., brick/masonry or siding sizes compatible with surrounding buildings), and colour.

4.4.2.6 Roofs

Policies

- Replace roofing materials on an as-needed basis. Contemporary materials (asphalt shingles, metal or composite roofing) are appropriate.
- Maintain gable or hip types with medium to steep pitch to be consistent with the HCD character.
- Protect and maintain rooftop features by ensuring that water is properly drained through gutters, downspouts and roof drains.

Guidelines

- Where roofing materials are visible from the street level and are to be replaced, encourage neutral colours (black, brown, grey).

4.4.2.7 External Paint

Guidelines

- Choose a paint scheme that complements the existing colours of the contributing resources in the HCD, based on a historic colour palette or neutral shades that complement the historic character. Avoid overly bright or neon colours.



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4.4.2.8 Lighting

Policies

- Exterior building lighting is permitted on non-contributing residential properties to illuminate address numbers, entrances, and porches. Lighting should be of a scale that is compatible to residential or commercial buildings and should avoid fixtures that shine directly and brightly towards adjacent properties.

4.4.3 Additions to Contributing Residential Properties

The area along Princes Street supports a residential streetscape with a unified heritage fabric and a visual representation of the earlier residences erected in Kincardine through the late 19th and early 20th centuries. Many of these residences are designated heritage properties and are representative of important styles in residential design and construction, including Second Empire, Queen Anne, Renaissance Revival and vernacular. Sometimes, owners of these properties want to expand their living spaces by increasing the footprint of their home through an addition. The following section outlines the high-level policies and guidelines in regard to the considerations for additions to contributing resources within the residential streetscape of Princes Street. Some of these considerations include location, height and massing, architecture and style, windows, doors and entrances, and roof design. In any case, the following key aspects should be considered:

- New additions must not obscure, radically change or have a negative impact on contributing heritage resources, heritage elements, forms, use or exterior configuration. This includes adjacent heritage properties and contributing resources.
- Any additions considered must first document the contributing resource(s) affected.
- Additions to contributing resources, specifically heritage designated properties, should be reversible.

4.4.3.1 Location, Height, and Massing

The most important aspect of adding to a contributing resource involves consideration of the location, height and massing of the addition. New additions must be visually compatible with, yet distinguishable from, the contributing resources. Often, the location, height and massing play the key role in ensuring a proper balance between imitation versus pointed contrast, so that a happy medium is met that respects the heritage fabric. In the residential corridor of the Kincardine HCD, consideration of additions must respect the contributing resources.

Policies

- Design additions to contributing resources to an appropriate height to contributing properties, less than the existing height of the original structure and be scaled appropriately so as to not compete with the original structure.



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- Design massing for new additions that is subordinate to the existing residences. Additions should not cover or overwhelm the original structure but should not be too small in scale and size either.
- Locate additions to contributing residences at the back of the building, wherever possible.
- Additions should be sympathetic and complementary in design, and clearly distinguishable from the original construction by form or detail.
- Preserve original material when designing additions and minimize the removal of original building structure and materials; if material is removed, document, carefully remove, salvage and store.
- Choose materials for additions that are distinguishable as contemporary design, and do not mimic historic architecture but complement its character to clearly distinguish between new and old.
- Avoid removing existing mature vegetation, where feasible, when planning the location for additions.

4.4.3.2 Architecture and Style

Architectural style includes many elements of a building and façade, including overall design of fenestration, entrances as well as proportions, roof line design and details.

Policies

- Additions should consider the original architectural style of a building and adopt a subtle approach that does not detract from the original heritage fabric, using compatible scale, proportions, openings and fenestration, materials and details that acknowledge the original residence.
- Avoid changing the existing façade elements by removing and altering architectural elements during additions. If these must be altered, these removals should be reversible.
- Additions should maintain overall setback that forms the unified, consistent streetscape and heritage fabric of the area. Additions should not obscure or remove important architectural features of a contributing resource.

Guidelines

- Wherever possible, utilize existing window or door openings to provide access and retain the original window or door removed for future reversibility, particularly if additions are made in locations other than the back of the residence.



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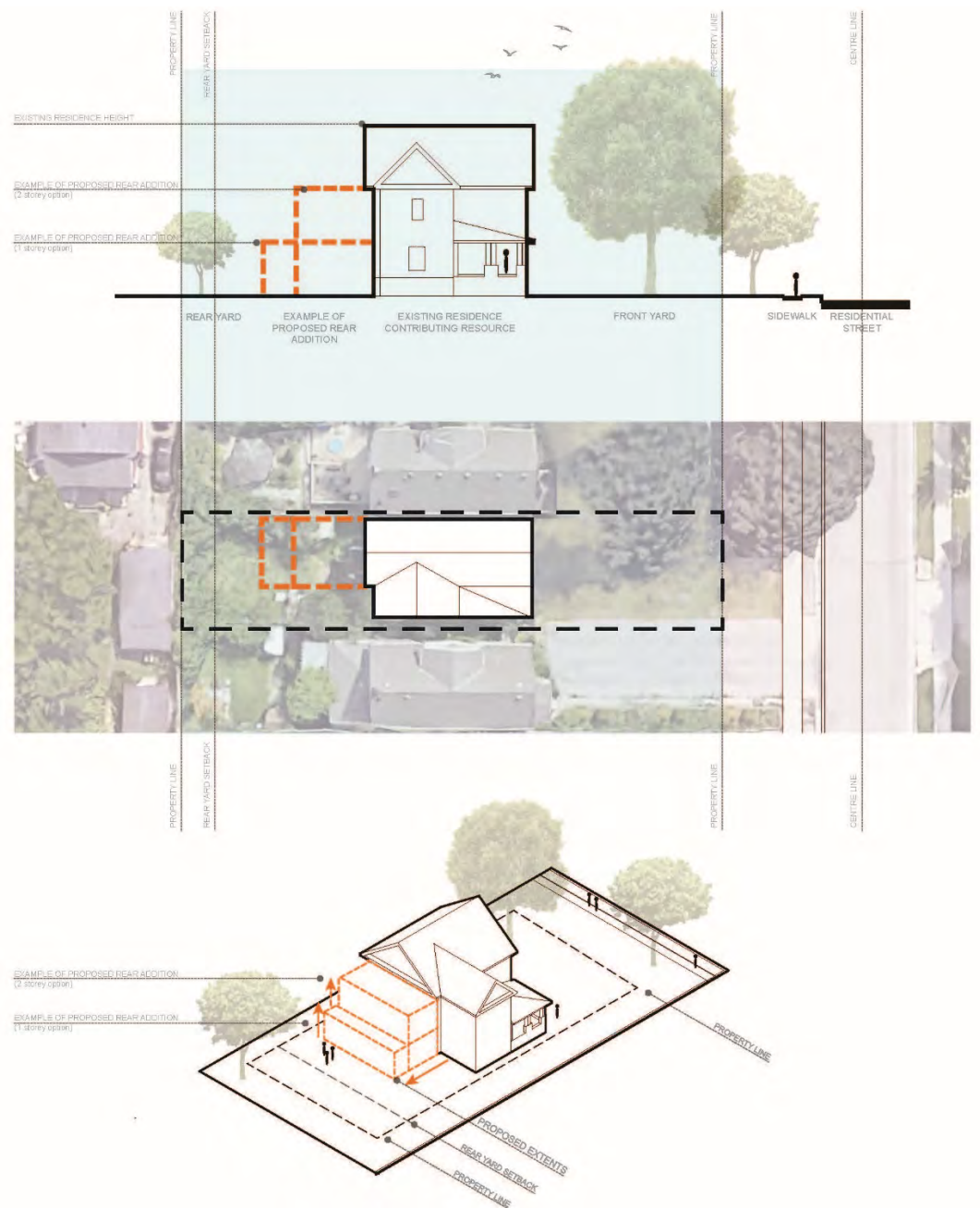


Plate 15: Plan showing recommended location and scale for additions to contributing residential properties.



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4.4.3.3 Materials

The majority of buildings in the Kincardine HCD are constructed with clay brick, including the residential area of Princes Street. Brick was a common construction material in the late 19th and early 20th century in Bruce County and Southwestern Ontario. It was used for structural construction, cladding/veneer and decoration. Stone, concrete and wood were also common. New additions can incorporate these materials in a careful and considerate way or consider complementary materials.

Policies

- New additions can use similar materials and form as the original heritage building, but should be done so in such a way as to not cause confusion between what is original heritage fabric and what is a new addition.

Guidelines

- Consider complementary materials to existing brick buildings such as wood and glass, to create an addition that is discernable.

4.4.3.4 Windows

Policies

- Windows in the heritage area are important elements that contribute to the vertical and horizontal patterns of the district. When considering new additions, align new windows, doors and the overall fenestration, so that it is consistent with the contributing resources.
- Consider the design, style and organization of openings so that it is clearly discernable from the original heritage fabric, but creates a harmonious relationship with that contributing resource.

4.4.3.5 Roofs

Policies

- The roofline of the residential streetscape in an HCD is not uniform but of similar heights between one and one-half to two stories. New additions should consider the rooflines and work to align with these rooflines. The design of new addition roofline should not necessarily replicate the original roofline but should compliment the style of the existing dwelling, though this may be unique to each individual property in the HCD.

Guidelines

- Protect and maintain rooftop features by ensuring that water is properly drained through gutters, downspouts and roof drains, and draining away from the original heritage building.



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4.4.3.6 Lighting

Policies

- Lighting on new additions should be complementary not only to the new building, but also to the contributing resources.
- New lighting on additions should not cause light pollution, or detract from, the original heritage elements, fabric and facades; consider the scale of lighting so it complements existing lighting in the neighbourhood.

Guidelines

- Provide external lighting that is compatible with the character of the area, and the contributing resources.
- Lighting is appropriate for illuminating address numbers, or entrances.
- Encourage use of energy efficient L.E.D. lights of an appropriate brightness to avoid excess light pollution. Lighting too bright appears harsh.

4.4.4 Additions to Non-Contributing Residential Properties

4.4.4.1 Height and Massing

Policies

- Design additions to non-contributing resources to an appropriate height to the HCD Character. Additions should be no taller than the existing building or immediately adjacent buildings.
- Rear additions may contain additional storeys, to a maximum of four storeys if approved by Council, only if they are set back at least five metres from the front building line. Each additional storey shall be set back from the street within a 45 degree angular plane.

4.4.4.2 Location

Policies

- Additions are preferred to the rear of existing buildings.
- Where space permits, and in compliance with municipal setback requirements, additions may be located at the side of a building but are to be set back from the front façade by at least one metre.



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4.4.4.3 Materials

Guidelines

- Use materials that are complementary to the character of the HCD, especially if materials are visible from street level.
- Allow for sympathetic contemporary materials on non-contributing buildings.

4.5 CIVIC/INSTITUTIONAL PROPERTIES

4.5.1 Alterations to Contributing Civic/Institutional Properties

The Study Area for the Kincardine HCD maintains several significant landmark civic, institutional and religious buildings. These civic buildings are primarily located within all three character areas. These significant civic beacons in the Municipality were constructed to serve the growing needs of the economy, trade, and industry of Kincardine during the late 19th and early 20th centuries. Specifically, buildings considered of high contributing value include the Old Town Hall, Post Office and Customs House, Carnegie Public Library, Kincardine United Church. The following outlines specific aspects of the contributing civic/institutional properties for consideration as part of this HCD.

4.5.1.1 Maintenance

Maintenance is crucial to the preservation of buildings in the heritage conservation district. Guidelines for the preservation and restoration of the buildings in the HCD are based on the *Standards and Guidelines for the Conservation of Historic Places*. General Maintenance guidelines can be found in Appendix C.

Policies

- Adhere to property maintenance standards of the Municipality of Kincardine Property Standards By-law as it applies to all properties within the municipality.

Guidelines

- Undertake regular maintenance and upkeep of the exterior of contributing resources as the appearance of these buildings and their visible exterior condition can greatly benefit and impact the overall character and feel of the Study Area, especially many of these civic properties are the most significant public heritage properties in Kincardine. Regular maintenance and repairs of historic features and materials can enhance their longevity and avoid costly replacements in the future.



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4.5.1.2 Façade Pattern

Façade patterns are the vertical and horizontal patterns created by architectural elements in the main or key elevations of these civic properties, such as windows, doors, massing, form and heights. Façade patterns of these civic structures within the HCD include cohesive use of materials, setback, heights and massing that together capture a visual representation of the historical development of Kincardine during the late 1800s to early 1900s that reflect architectural styles of the area. These patterns include datums created by single-storey front porch rooflines (where applicable), two and three storey brick buildings with formal entrances, organization of fenestration, rhythm of bays, use of buff brick as the primary façade material, setbacks, and overall massing and form as stately civic structures.

Policies

- Maintain and restore existing windows and doors in their original sizes. If interior room configurations are changed avoid visual changes that affect the exterior façade.
- Maintain and restore existing architectural elements that divide and break up the façade into smaller sections; Retaining the original form of two to three storey structures in the Study Area is critical to its heritage character and history.
- Maintain and restore existing parapets and rooflines, quoins, cupolas, projecting bays, front porches, decorative brick work, and fenestration.
- Avoid covering up and building in existing openings.
- Avoid changing the existing façade elements by removing and altering architectural elements, especially the brick work, drip moulds, voussoirs, segmental arch windows, quoins, cupolas, projecting bays, bargeboard, porches and fish scale shingles, classic motifs and friezes.
- Retain original setbacks to the front entrances from the street, consistent with the location.
- Avoid removal of aspects of the façade that could result in “blank walls” with no window and door openings.

Guidelines

- Preserve and restore as the preferred primary methods for intervention with regards contributing resources. Should there be a part of the building that is beyond repair and cannot be restored, use materials and forms that restore by existing evidence or replace in-kind or with sympathetic materials, in-situ.
- Avoid making imitations based on conjecture rather than evidence in documents or existing building elements.



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Plate 16: Maintain two and three-storey organization of fenestration along the first and second storeys, rhythm of two and three bays, use of buff brick as the primary façade material, and front setbacks typical of civic buildings located throughout the HCD.

4.5.1.3 Windows and Entrances

Windows in the heritage area are important elements that contribute to the vertical and horizontal patterns of the district. Windows and entrances in civic buildings form an integral part of the public access and experience of the heritage building, for both viewing through and for identifying formal public entrance.

Policies

- Conserve, repair and maintain rather than remove all important character-defining elements to windows and doors including but not limited to: steel, aluminum and wood frames and windows, muntin and sash profiles, dimensions of openings, operable double and single hung windows, original opening mechanisms and hardware and decorative surrounds.



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- Retain original wood framed windows wherever possible. Heritage windows can be as efficient as new thermal units if they are maintained properly. If maintained, they are longer lasting than the newer thermal units.
- Replace original windows and doors when they cannot be repaired. Keep current proportions and glazing configuration. Keep operable. Retain and/or replace storms in-situ, with like-for-like, where original storms are present.
- Avoid blocking or altering the shape and size of existing historic window openings and entrances. It is strongly discouraged to seal windows shut.
- Avoid replacing original windows with units that are radically different than original in proportion, colour, functionality and configuration.
- Allow for replacement of contemporary windows and doors with other contemporary windows. Maintain the original shape and opening of the window.

Guidelines

- If some windows and doors have already been updated with contemporary units, they may be replaced with historically accurate windows based on documentary evidence or existing windows.
- Maintain the solid wall to openings proportions from the existing streetscape.

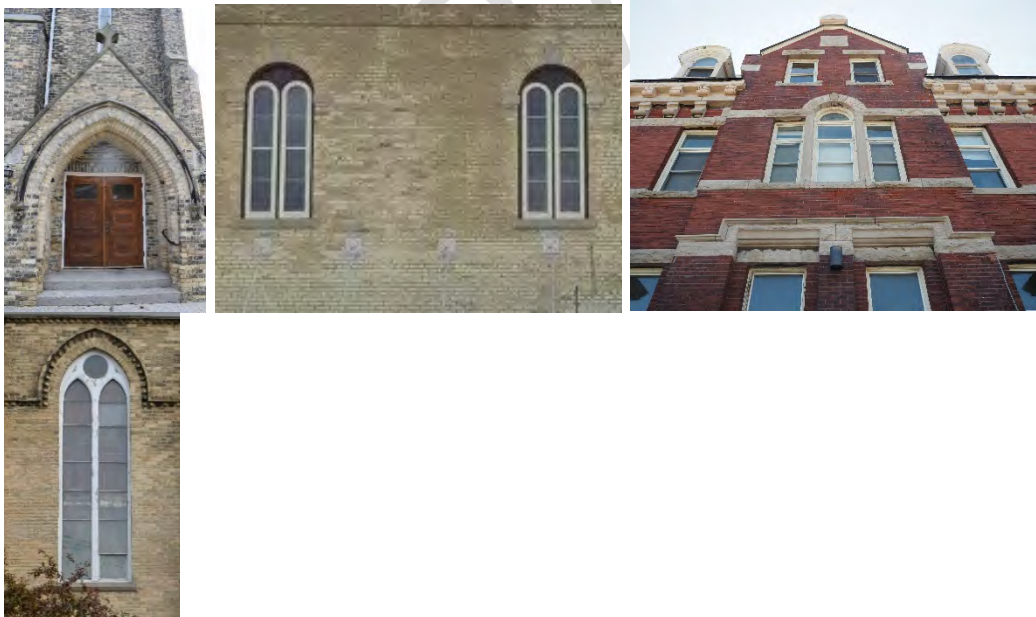


Plate 17: Examples of civic and institutional openings located throughout the Study Area of the HCD. Rectangular, round arch and segmental arch are most common. Many windows are 2/2 wood windows or wood doors.



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4.5.1.4 Porches, Porticos or Entrance Overhangs

Porches, porticos or entrance overhangs are located on the main floor of some landmark civic buildings and they usually make up the public part of the building, extending the indoor lobby to the outdoors. They identify the formal access to these structures and are a character defining element of these designated properties throughout the Study Area along.

Policies

- Conserve, maintain and restore features such as painted wood posts, beams, cornices, brackets and decorative elements, corner posts and the materials they are made from, wherever possible; typical materials include wood, and brick columns supporting projecting pediments.
- Avoid altering the geometry of the porches, such as location of posts, openings for access, steps and decking, railings (posts and spandrels).
- Replace in kind or in a manner compatible to the character of the HCD where conservation and restoration of original porch materials is not possible.
- Avoid enclosing existing open porches with screens or other enclosures.

Guidelines

- If porches have already been updated with contemporary features, they may be replaced with historically accurate or historically appropriate porches based on documentary evidence or consideration of the typical features of the building's architectural style or influence.

4.5.1.5 Exterior Materials

The majority of buildings in the Kincardine HCD are constructed with clay brick. Brick was a common construction material in the late 19th and early 20th century in Bruce County and Southwestern Ontario. It was used for structural construction, cladding/veneer and decoration. As a heritage attribute of the HCD, brick plays an important visual role in contributing to the district's sense of time and place along the residential streetscape of the HCD. Stone and concrete were also used in building cladding and decoration in the late 19th and early 20th centuries but were not as common. Over time, more contemporary materials have been used on more recent buildings and to cover the original materials of historic buildings.

Brick

Policies

- Avoid painting surfaces (especially exterior) such as brick masonry with acrylic paints as they create a non-permeable coating that does not allow for moisture to dry through the brick.



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- Clean masonry with gentle techniques where original brick has been heavily soiled, has graffiti or paint that is damaging to the masonry. However, any type of masonry cleaning is damaging to the material, so it is recommended that cleaning is done only when necessary.
- Avoid abrasive cleaning methods, such as sandblasting, sanding disks and grinders, as they clean by removing a small portion of the brick surface and permanently damage the material. Cleaning methods recommended for brick are water cleaning (the gentlest cleaning method) and chemical cleaning. Examples of cleaning with water are low pressure water cleaning and using detergents. When cleaning with water keep in mind freezing temperatures and time needed for brick to dry. Moisture is masonry's biggest challenge. The freezing of water under the surface of the brick will cause spalling.
- Maintain and restore brick masonry by using appropriate techniques for repointing and using compatible mortar. Older buildings use high lime content mortar, which is weaker than contemporary Portland cement mortar. Using appropriate mortar will prevent further deterioration. For more information on mortar type and mortar strength refer to Appendix C.
- Choose an appropriate mortar when repointing historic masonry. The mortar in masonry assembly is the sacrificial element, being the weakest in strength. Mortar strength should be appropriate to the brick so that all the thermal expansion happens at the mortar joints first. For more information on mortar type and mortar strength refer to Appendix C.
- Choose materials that are similar in kind, colour, strength and durability when using mortars and masonry units to replace existing deteriorated units. Using materials that are incompatible can cause more damage in the long term.

Guidelines

- Undertake repointing early in the year to allow mortar to dry and cure before cold weather sets in.
- Refer to the *Standards and Guidelines for the Conservation of Historic Places*, available online, for in depth information about masonry restoration.

Metals

Some buildings in the HCD feature metal awnings, gutters, cladding or flashings, and signage. Identifying the type of metal will help to determine the most appropriate conservation, maintenance and cleaning techniques.

Policies

- Conserve historic metal features on front facades. Retain sound and repairable metals.
- Re-apply appropriate paint or coating to decrease corrosion rate.
- Stabilize deteriorated metals by reinforcement and weather protection.



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- Determine the metal type and appropriate cleaning method. Soft metals such as lead, tin, copper, aluminum, brass, silver, bronze and zinc should be cleaned with non-abrasive methods. Use gentle cleaning methods on hard metals.

Guidelines

- Replace deteriorated or missing elements in kind or with sympathetic materials based on documentary evidence.
- Refer to the *Standards and Guidelines for the Conservation of Historic Places* for a more detailed list of recommendations for maintenance and preservation.

Woodwork

Policies

- Retain sound and repairable wood that contributes to the character of the building or HCD.
- Replace in kind or with sympathetic materials when repair is not feasible.
- Apply coatings which are compatible and only after proper surface preparation, such as cleaning with tri-sodium phosphate.

Guidelines

- Stabilize deteriorated wood by providing reinforcement and weather protection.
- Replace decayed or damaged wood and find cause of deterioration where possible to avoid future damage.
- Prevent water penetration and weathering by providing proper drainage.
- Refer to the *Standards and Guidelines for the Conservation of Historic Places* for a more detailed list of recommendations for wood maintenance and preservation.

Glass and Glass Products

Policies

- Retain historic glass, particularly decorative leaded or stained glass when possible.
- Replace irreparable or missing glass panels in kind or with sympathetic material, whenever repair is not possible.

Guidelines

- Protect glass from breakage, chipping and abrasion.



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- Assess the reason for the breakage and deterioration of glass which might be due to its frame and structure.
- Consider contacting a knowledgeable and experienced practitioner when undertaking restoration of lead glass.

4.5.1.6 Overcladding

Overcladding is the covering of original materials with more modern materials. When covering original materials, important architectural elements of the building are hidden. Often, overcladding is done with the purpose of creating a more modern look to the façade but results in mismatching materials that are not in harmony with the surrounding buildings and do not consider the original heritage attributes or character of an area.

Overcladding is not an appropriate substitute for maintenance. Covering up deteriorated facades does not solve the problem of regular maintenance and may create more serious problems such as rotting, rusting, cracking and spalling of brick and deterioration of mortar joints, which can cause serious structural issues. To properly maintain a historic building, overcladding should be avoided and existing overclad materials should be removed.

Policies

- Avoid covering up original facades and elements with materials that do not complement the HCD, drastically change the look of the building, or could damage the original materials.
- Care should be taken to remove cladding materials when exposing known original heritage materials underneath.
- If cladding is removed and materials are determined to be original heritage fabric, follow guidelines for intervention.

Guidelines

- Remove existing overcladding to reveal, repair, restore or appropriately replace historical elements underneath (preference for restore and repair before replacement).
- Remove overcladding in sections. If removal of all overcladding is not possible, or keep overcladding in place with the intention of removing it in future.

4.5.1.7 Roofs and Parapets

The roofline of the streetscape of the Civic/Institutional Properties the HCD is not uniform but of similar heights, between two to three stories. Roofs and parapets are an important character defining element and they are most important when visible from street level. Elements of the roof and parapet assemblies include: drip moulds, classical motifs, roof cornices and friezes, cupolas, turrets, cresting, chimneys, gutters, gables, eaves, parapets, dormers, soffits and fasciae, and components, such as the cladding,



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substructure, insulation, vapour controls, flashing and ventilation. Roofs are exposed to the elements more than any other part of the building and their maintenance is critical.

Policies

- Conserve, maintain and restore character defining roof and parapet features and original historic roofing materials.
- Maintain the original roof shape of the building (e.g., flat, gabled, hipped, etc.) and maintain the original pitch (high pitch, medium pitch, low pitch).

Guidelines

- Protect and maintain rooftop features by ensuring that water is properly drained through gutters, downspouts and roof drains.
- Encourage historically themed downspouts with reservoirs where appropriate.
- Repair based on historical evidence or replace in kind or with sympathetic materials when roof materials are deteriorated.
- Allow for contemporary roofing materials such as asphalt, metal, and composites where non-original roofing materials exist.
- Consider neutral colours (grey, black, brown) for roof pitches visible from the street.

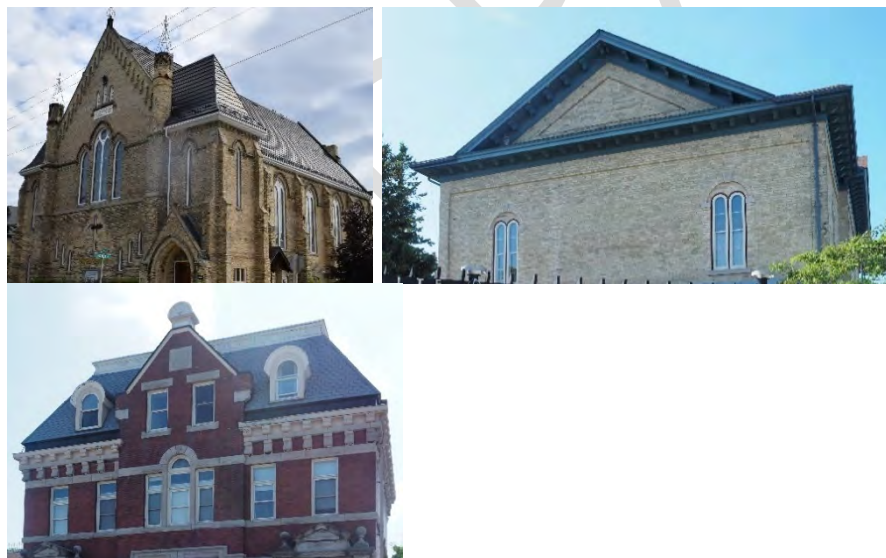


Plate 18: Examples of roof types found on significant civic and institutional buildings within the HCD. Most roof types consist of gables, mansard or hipped roofs, of medium and steep pitch.



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4.5.1.8 External Paint

Traditional oil-based paint such as linseed oil paint were used historically. When applied properly, oil-based paints are long-lasting and they are absorbed into surfaces, thus allowing them to penetrate and the materials to breathe. Contemporary oil-based paints are available from various companies.

Mineral based paints are appropriate for surfaces such as brick, stucco, metal, etc. Mineral based paints work like a stain rather than paint- they are long lasting, allow surfaces to breathe and they do not create an impermeable layer which keeps moisture from drying out.

Acrylic based paints are readily available and used prominently today. However, acrylic based paints might not be the best solution for historic buildings and especially materials such as masonry and wood. Keep in mind that acrylic paint creates a film on top of the surface it is painted on, and thus seals it, making the material unable to dissipate moisture.

It is important that in preparation the surfaces are cleaned properly from dirt and previous paint.

Policies

- Avoid painting masonry surfaces including brick as it prevents the proper drying of the brick and ultimately damages the masonry.

Guidelines

- Avoid painting with colours that do not complement the character of the HCD, such as overly bright or neon colours where possible. There are many paint companies that provide a heritage or historical selection that would be complementary in a residential area of an HCD.
- Consider cohesive color schemes. Paint can have a dramatic effect on the building, highlighting different elements such as windows, trim, sculptural detail, etc.
- Consider identifying original paint colours, if desired. For owners who would like to determine the original colour of their building and have the financial means, a paint analysis can be conducted. For owners who are on a budget and want to find a close match to the original paint colour, it is advisable to peel off a small area of paint in an inconspicuous area of the building.
- Consider consulting a heritage masonry specialist for exterior brick surfaces that have been already painted to determine whether to repaint peeling paint or remove paint completely.

4.5.1.9 Lighting

Policies

- Rehabilitate important heritage lights as needed to adapt to current lighting requirements and code requirements before opting for replacement.
- If replacing, consider lights similar in style and character to the contributing heritage resources.



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Guidelines

- Provide external lighting that is compatible with the character of the area, and the contributing resources. Repair and replace original external light fixtures where possible with like-for-like. If replacing with new, use like-for-like wherever possible in scale, material and form to original.
- Lighting is appropriate for illuminating address numbers or entrances, porches and laneway lighting for access to the buildings.
- Encourage use of energy efficient L.E.D. lights of an appropriate brightness to avoid excess light pollution. Lighting too bright appears harsh.

4.5.1.10 Signage

Signage in a downtown HCD is a crucial aspect of the urban fabric. It has an impact on the atmosphere of the street and it is very important for the well-being of businesses.

Policies

- Adhere to the Municipality of Kincardine Sign By-Law and the Guidelines for Signage on Heritage Properties Policy G.G.3.14.
- Restore and repair original heritage signage on civic properties wherever possible rather than replacement with new.
- Install signage in a manner that avoids covering windows or important elements of the building façade and is conducive to HCD properties.
- Avoid internally illuminated signs.

Guidelines

- Retain signs that are pre-existing and contribute to the character of the building.
- Incorporate signage in the valence of awnings, above storefronts, on canopies, sandwich boards, small-scale projecting or hanging items and temporary window decals.
- Use signage that is an appropriate size to be read from across the street.

4.5.1.11 Side and Rear Elevations

Typically, HCD policies and guidelines focus on the front façade of buildings as these are most often experienced in the public realm. Many of the prominent civic properties within the HCD have exposed rear and side elevations that are visible even from the main streets as these stately structures are landmarks and often situated as independent buildings on larger properties to signify their importance within the community. As such, guidelines have been prepared to address side and rear elevations.



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Policies

- Maintain, repair, conserve or restore original cladding materials on side or rear elevations where possible.
- Maintain and upkeep side and rear elevations in accordance with Municipality of Kincardine Property Standards By-law.
- Complement the character of the HCD on rear elevations regarding material type, and proportion of material (e.g., brick/masonry or siding sizes compatible with surrounding buildings), and colour. Contemporary cladding materials are permitted on rear elevations of new construction, but should be compatible with the character of the area.

Guidelines

- Consider rear elevations not on corners for parking, outbuildings, satellite dishes, required roof vents, skylights, solar panels, and new chimneys, and additions.

4.5.2 Alterations to Non-Contributing Civic/Institutional Properties

4.5.2.1 Maintenance

Policies

- Conduct regular maintenance on the property as needed, including side and rear elevations where visible from the public realm. Adhere to the municipality's Property Standards By-law as it applies to all properties within the Municipality.

4.5.2.2 Façade Patterns

Policies

- Support the character of the HCD when making changes in the façade composition of non-contributing buildings, by choosing complementary or compatible window and door openings, materials and proportions.
- Avoid designing "blank walls" with no window and door openings.

4.5.2.3 Windows and Entrances

- Replace existing windows and entrances when required. Contemporary materials are appropriate for non-contributing buildings, but should maintain the existing opening sizes and proportions of the original window.
- Avoid covering up and filling in existing windows and entrances.
- Maintain the solid wall to openings proportions present within the existing streetscape.



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4.5.2.4 Exterior Materials, Overcladding, and Trim

Policies

- Removal of overcladding on non-contributing institutional/civic buildings is permitted. Care should be taken to remove to determine the presence of historic materials beneath that may change the course of an alteration permit.
- If historic fabric is present and the Municipal staff, the Municipal Heritage Committee and Council agree that the building now meets the definition of a contributing property, guidelines for cladding in Section 4.3 should be followed.
- If historic fabric is not present, replacement cladding may be installed. It is encouraged to use cladding that complements the character of the HCD, such as brick, stone, or wood cladding, particularly on the front (street-facing) façade of the building. Contemporary materials such as “hardie board” siding, aluminum and vinyl siding may also be permitted on a case-by-case basis. Exterior Insulation Finishing System (EIFS) should be avoided, as it is not sympathetic to the HCD character.

Guidelines

- Select materials that are complementary of the character of the HCD when renovating facades of non-contributing buildings. It is recommended to use materials already commonly found in the HCD such as brick as a dominant material that help to transition the non-contributing building into its surroundings.
- Overcladding of the ground floor area on commercial storefronts to cover display style windows or signage areas is strongly discouraged.
- Complement the character of the HCD on side elevations visible from the public realm regarding material type, and proportion of material (e.g., brick/masonry or siding sizes compatible with surrounding buildings), and colour.

4.5.2.5 Roofs

Policies

- Replace roofing materials on an as-needed basis. Contemporary materials (asphalt shingles, metal or composite roofing) are appropriate.
- Maintain gable or hip types with medium to steep pitch to be consistent with the HCD character, if within the Princes Street or Durham Market Character Areas, or flat or low pitch rooflines within the Queen Street Commercial Character Area.
- Protect and maintain rooftop features by ensuring that water is properly drained through gutters, downspouts and roof drains.



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Guidelines

- Where roofing materials are visible from the street level and are to be replaced, encourage neutral colours (black, brown, grey).

4.5.2.6 External Paint

Guidelines

- Choose a paint scheme that complements the existing colours of the contributing resources in the HCD, based on a historic colour palette or neutral shades that complement the historic character. Avoid overly bright or neon colours.

4.5.2.7 Lighting

Policies

- Exterior building lighting is permitted on non-contributing residential properties to illuminate address numbers and entrances. Lighting should be of a scale that is compatible to residential or commercial buildings, and should avoid fixtures that shine directly and brightly towards adjacent properties.

4.5.3 Additions to Contributing Civic/Institutional Properties

The Study Area supports several landmark civic, institutional and religious buildings. These significant buildings provide a visual representation of the history of Kincardine through the late 19th and early 20th centuries. Many of these contributing resources remain as the original intended use, while others have been converted into civic program spaces. Sometimes, these spaces and resources require additions to incorporate new uses, to make them more accessible or to accommodate growing populations. The following section outlines the high-level policies and guidelines in regard to the considerations for additions to civic and institutional contributing resources within the Study Area. Some of these considerations include location, height and massing, architecture and style, windows, doors and entrances, and roof design. In any case, the following key aspects should be considered:

- New additions must not obscure, radically change or have a negative impact on contributing heritage resources, heritage elements, forms, use or exterior configuration. This includes adjacent heritage properties and contributing resources.
- Any additions considered must first document the contributing resource(s) affected.
- Additions to contributing resources, specifically heritage designated properties, should be reversible.



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4.5.3.1 Location, Height, and Massing

The most important aspect of adding to a contributing resource involves consideration of the location, height and massing of the addition. New additions must be visually compatible with, yet distinguishable from, the contributing resources. Often, the location, height and massing play the key role in ensuring a proper balance between imitation versus pointed contrast, so that a happy medium is met that respects the heritage fabric. In the Study Area of the Kincardine HCD, several civic and institutional buildings are represented, and consideration for additions must respect the contributing resources.

Policies

- Design additions to contributing resources to an appropriate height to contributing properties, no greater than the height of the existing building.
- Design massing for new additions that is subordinate to the existing building. Additions should not cover or overwhelm the original structure but should not be too small in scale and size either.
- Locate additions to contributing buildings at the back of the building where possible, or adjacent.
- Use shapes and massing that are compatible with the historic building and create a harmonious look with the surrounding buildings.
- Preserve original material when designing additions and minimize the removal of original building structure and materials; if material is removed, document, carefully remove, salvage and store.
- Choose materials on additions that are distinguishable as contemporary design, and do not mimic historic architecture but complement its character.
- Avoid mature vegetation, where feasible, when planning the location for additions.

Guidelines

- Rear additions may contain additional storeys only if they are set back at least five metres from the front building line. Additional storeys should not be greater than half of the original building's height (e.g., for two storey buildings, additions may extend one storey above the existing roofline, for a total of three storeys).



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Plate 19: Example of the original Carnegie Public Library built between 1900-1920 in the HCD. The contemporary addition adjacent to the library creates a harmonious relationship between the heritage building and the new addition, through proportions, materials, and a separation between new and old.

4.5.3.2 Architecture and Style

Architectural style includes many elements of a building and façade, including overall design of fenestration, storefronts as well as proportions, roof line design and details.

Policies

- Additions should consider the original architectural style of a building, and consider a subtle approach that does not detract from the original heritage fabric, using compatible scale, proportions, openings and fenestration, materials and details that acknowledge the original buildings.
- Avoid changing the existing façade elements by removing and altering architectural elements during additions.
- Additions should maintain overall setback that forms the unified, consistent streetscape and heritage fabric of the area.

Guidelines

- Additions, if adjacent to a site, should follow the guidelines for setbacks to maintain consistency with the front yard and setbacks, and consider openings, fenestration, materials, and details that are sympathetic to the original building but also subordinate to it.
- Original architectural style should not be mimicked, but complemented with contemporary design.
- Avoid covering up and building in existing openings to accommodate additions.



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4.5.3.3 Cladding Materials

The majority of buildings in the Kincardine HCD are constructed with clay brick. Brick was a common construction material in the late 19th and early 20th century in Bruce County and Southwestern Ontario. It was used for structural construction, cladding/veneer and decoration. Stone, concrete and wood were also common. New additions can incorporate these materials in a careful and considerate way, or consider complementary materials.

Policies

- New additions can use similar materials and form as the original heritage building, but should be done so in such a way as to not cause confusion between what is original heritage fabric and what is a new addition.

Guidelines

- Consider complementary materials to existing buildings, especially when creating links between civic building and new additions, such as glass. This can encourage a sense of transparency and is especially important if the addition is large as it can create a pause between new and old to highlight the separation between the two.

4.5.3.4 Windows and Entrances

Policies

- Windows in the heritage area are important elements that contribute to the vertical and horizontal patterns of the district. When considering new additions, align new windows, doors and the overall fenestration, so that it is consistent with the contributing resources.
- Consider the design, style and organization of openings so that it is clearly discernable from the original heritage fabric, but creates a harmonious relationship with that contributing resource.
- Contributing resources may be required to be upgraded to provide accessibility to meet current OBC and AODA requirements depending on the current or planned use. Additions created to provide universal access should make an effort to provide the highest level of access with the lowest level of impact on heritage value; for example, introducing a gently sloped walkway instead of a constructed ramp with handrails in front of a contributing resource.

4.5.3.5 Roofs

Policies

- The roofline of the civic buildings in the HCD is not uniform but the buildings are of similar heights, between two to three stories. New additions should consider the rooflines and work to align with these rooflines. The design of new addition roofline should not necessarily replicate the original roofline, but complement it.



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- The roofline of an addition should not be higher than the roofline of the original contributing resource.
- Set features such as mechanical equipment, penthouses and other rooftop elements back from the façade line so as not to deter from the streetscape, even on new additions.

Guidelines

- Protect and maintain rooftop features by ensuring that water is properly drained through gutters, downspouts and roof drains, and draining away from the original heritage building.

4.5.3.6 Lighting

Policies

- Lighting on new additions should be complementary not only to the new building, but also to the contributing resources.
- New lighting on additions should not cause light pollution, or detract from, the original heritage elements, fabric and facades; backlighting should be avoided.

Guidelines

- Provide external lighting that is compatible with the character of the area, and the contributing resources.
- Lighting is appropriate for illuminating civic signage (e.g., 'gooseneck' lighting), address numbers, entrances, and pathways on larger civic properties.
- Encourage use of energy efficient L.E.D. lights of an appropriate brightness to avoid excess light pollution. Lighting too bright appears harsh. When possible, civic and institutional organizations should try to match the colour temperature of municipal street lighting to provide a uniform appearance to the district.

4.5.3.7 Signage

Signage on civic buildings within the HCD is a crucial aspect of the urban fabric. It has an impact on the atmosphere of the main corridors and arteries, and it is very important for the well-being of civic and institutional buildings, and for identification by the public.

Policies

- Adhere to the Municipality of Kincardine Signage By-law.
- Install signage on new additions that is complementary to the new additions as well as the heritage elements and fabric.
- Avoid internally illuminated signs as per the Municipality of Kincardine Sign By-law.



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Guidelines

- Incorporate signage in a subtle, yet clearly discernible way, and so as not to confuse it with original heritage signage.
- Use signage that is an appropriate size to be read from across the street.

4.5.4 Additions to Non-Contributing Civic/Institutional Properties

4.5.4.1 Height and Massing

Policies

- Design additions to non-contributing resources to an appropriate height to the HCD Character. Additions should be no taller than the existing building or immediately adjacent buildings.
- Rear additions may contain additional storeys, to a maximum of four storeys if approved by Council, only if they are set back at least five metres from the front building line. Each additional storey shall be set back from the street within a 45 degree angular plane.

4.5.4.2 Location

Policies

- Additions are preferred to the rear of existing buildings.
- Where space permits, and in compliance with municipal setback requirements, additions may be located at the side of a building but are to be set back from the front façade by at least one metre.

4.5.4.3 Materials

Guidelines

- Use materials that are complementary to the character of the HCD, especially if materials are visible from street level.
- Allow for sympathetic contemporary materials on non-contributing buildings.

4.6 CONVERSION TO ALTERNATE USE

The intent of an HCD is not to regulate the use of the building or property, but to maintain and enhance the heritage character of an area through the management of change to its physical features. It is recognized that conversions from one building type to another can sometimes contribute positively to the revitalization of an area. However, the conversion of a building from one use or another can also affect the character or attributes of a building and the broader HCD through inappropriate and unsympathetic alterations to accommodate the change in use. The definition of building type is based on the historic use



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of a building, as shown in Figure 4, which typically informs its physical appearance and the presence or absence of certain features.

The policies below have been provided to give clarity to property owners, developers, and the Municipality when conversions are proposed to conserve the heritage attributes of the HCD.

Policies

- Conversion from one property type to another may occur if permitted by the provisions of the Municipality's Zoning By-law or approved Zoning By-law amendments.
- If a residential property is to be converted to a new use (where zoning permits) the policies and guidelines for residential buildings regarding alterations and additions will remain applicable, as they relate to the historic building type rather than its use.
- If a commercial building (from the Queen Street Commercial character area) is to be converted to a new use (where zoning permits), the policies and guidelines for commercial buildings regarding alterations and additions will remain applicable, as they relate to the historic building type rather than its use.
- If an institutional/civic building (such as community centre, library, place of worship, or school) is to be converted to a new use (where zoning permits), the policies for institutional/civic buildings regarding alterations and additions will remain applicable, as they relate to the historic building type rather than its use.

4.7 NEW CONSTRUCTION

Most properties within the Kincardine HCD have already been developed; however, there is potential for development in the future. Opportunities for new development can occur in the form of infill, or new development due to loss of a building through fire, natural disaster, severe structural instability or approved demolition. In keeping with heritage conservation principles, new development should be recognizable as a product of its own time, and not attempt to mimic or directly replicate historical architectural styles. New development can be modern but still sympathetic and compatible to the historic character of the district with regard to form, massing, materials and façade organization. When new development is proposed in the HCD, the following policies and guidelines apply. Once new buildings are constructed, future alterations or additions are to follow the policies and guidelines for Non-Contributing buildings.

4.7.1 Site Plan Control

Section 41 of the *Planning Act* allows municipalities to review and regulate the location of buildings, structures, and specified facilities and works through a Site Plan Control by-law. The Site Plan Control process helps ensure appropriate siting, massing and scale of proposed development and site alteration to address efficiency of land use, servicing, safety, attractiveness and compatibility.



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Guidelines

- To encourage the integration of new development with adjacent land uses, Council may require public notification and a public meeting at the Site Plan approval stage for applications for proposed development or site alteration within the HCD, developed in accordance with their current practices of notifying property owners.
- An application for site plan approval should address all matters relating to the conceptual design and specific location of buildings and structures and all other site considerations usually required by the municipality and be consistent with the policies and guidelines of the HCD Plan.

4.7.2 Commercial Properties

4.7.2.1 Height, Massing and Setbacks

Policies

- When determining the siting of new construction, follow the policies and guidelines in Section 4.2.
- Conserve the existing character of the streetscape by limiting the height of new buildings to be consistent with immediately adjacent properties. If adjacent properties are of different heights, the height of the new building can match the taller building, to a maximum of four storeys.
- Additional height of new buildings, to a maximum of four storeys, may be approved if the additional storeys are set back from the façade roofline by at least five metres. Additional stories should be approved only where shadow studies demonstrate no adverse impacts on adjacent heritage attributes. Where additional height is approved, further step-backs are encouraged to maintain the experience at the pedestrian realm and avoid the bulk of a solid mass and to transition the taller building form towards adjacent lower height buildings.
- Keep setbacks up to the sidewalk for commercial properties along Queen Street to be consistent with adjacent properties and maintain the street wall effect of the Queen Street Commercial character area.

4.7.2.2 Building Materials

Policies

- Use brick, especially red or buff brick, as a primary cladding material on new construction for street-facing facades. Facades not visible from the public realm may be clad in alternate materials.

Guidelines

- Secondary cladding materials may also be used that are compatible with the HCD character, including stone, metal, and wood.



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- Contemporary materials may also be used on new construction to indicate that the building is designed in its own era. Wherever possible, consider blending contemporary materials (such as glass, concrete, or composite materials) with brick, stone, wood or historically used materials to allow the building to be compatible with the surrounding environment.

4.7.2.3 Roofing

Policies

- Use flat or low pitched roofing in the Queen Street Commercial Core character area to complement the HCD character.

Guidelines

- Use contemporary roofing materials on new construction (asphalt, metal, or composite).
- Select colour palettes for roofing materials that are neutral (black, brown, grey) with pitched rooflines are visible from them public realm.
- Allow for and encourage 'green' roof and sustainable design where feasible.

4.7.2.4 Façade Composition

Policies

- Complement the commercial character of the Queen Street Commercial Character Area in the HCD with similar façade composition on new construction. New buildings should have single storey commercial facades on the ground level, with between 50% and 80% glazing. Avoid blank walls facing Queen Street.
- Include between 25% and 50% glazing on the upper stories of street-facing facades of new development, utilizing repeated patterns of window openings with clear vertical alignments, reflecting the established historical pattern of contributing buildings in the HCD.
- Require breaks in all exterior building elevations longer than 15 m that are visible from Queen, either through design elements, changes in material, or architectural articulation
- Maintain consistency of floor to ceiling heights of new design with adjacent buildings.

4.7.2.5 Windows and Entrances

Policies

- Use contemporary metal, vinyl or wood frame windows on new construction.
- Incorporate similar shape and dimensions found in the Queen Street Commercial character area, such as rectangular, segmental arch or rounded arch windows.



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- Position windows on upper storeys in evenly spaced rhythms and vertical alignments in a manner that is compatible with adjacent buildings.
- Include large storefront/display style windows on ground floors of commercial buildings and new construction in the Queen Street Commercial character area. Encourage storefronts with large windows and display windows allowing pedestrians visibility. This promotes an attractive and vibrant downtown core and maintains the existing character of the streetscape.

Guidelines

- Include recessed entrances on ground floors, where feasible, to reflect the character of historic commercial buildings.
- Use single or double entrance doors that have full or partial glazing and adhere to AODA standards.
- Select doors that are made with traditional (wood and glass) or complementary contemporary materials (glass, metal, and fiberglass).

4.7.2.6 Architectural Style and Details

Guidelines

- Design new buildings using contemporary design that is sympathetic and compatible to the character of the HCD. Sympathetic does not mean new buildings should directly copy or mimic historic buildings by installing historically accurate decorative parapets, brickwork, cornices, window surrounds, etc. However, contemporary interpretations of these features can be an effective way of maintaining the character of the area while allowing for new design.

4.7.3 Residential Properties

4.7.3.1 Height, Massing and Setbacks

Policies

- When determining the siting of new residential construction, follow the policies in Section 4.2.3.
- Conserve the existing residential character of the streetscape by limiting the height of new buildings to be consistent with immediately adjacent properties. If adjacent properties are of different heights, the height of the new building can match the taller building, up to a maximum of 3 storeys.



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4.7.3.2 Building Materials

Policies

- Use brick, particularly buff brick or red brick, as a primary cladding material, particularly on the street-facing facades. Side and rear facades not easily visible from the public realm may feature alternative materials such as siding.

Guidelines

- Secondary cladding materials may also be used on street-facing facades, if they are compatible with the character of the Princes Street Residential Area. Suitable materials may include stone, wood, metal, glass, stucco, concrete, or composite siding products such as 'hardie board' siding.
- Contemporary materials may also be used on new construction, to indicate that the building is designed within its own era. Wherever possible, consider blending contemporary materials with historically used materials to allow the building to be compatible with its environment.

4.7.3.3 Roofing

Policies

- Use moderate to steeply pitched gable, hip, or mansard style roof types on new residential buildings. Irregular rooflines that contain combinations of gable and hip types are also appropriate.

Guidelines

- Use contemporary roofing materials on new construction (asphalt, metal, or composite)
- Select colour palettes for roofing materials that are neutral (black, brown, grey) with pitched rooflines are visible from them public realm
- Allow for and encourage 'green' roof and sustainable design where feasible.

4.7.3.4 Façade Composition

Policies

- Complement the character of residential properties in the Princes Street Residential Area and Durham Market Character Areas. Façade composition of residential properties may be symmetrical or asymmetrical, but typically demonstrates balanced proportions and at least some vertical alignments of 'bays' or windows and entrances. New construction does not need to replicate historical façade patterns but should contains street-facing entrances, and 25-50% glazing on each storey.
- Avoid blank walls facing Princes Street or Durham Market North and South.



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Guidelines

- Position windows on each storeys in evenly spaced rhythms and vertical alignments in a manner that is compatible with adjacent buildings.

4.7.3.5 Windows and Entrances

Policies

- Use contemporary metal, vinyl or wood frame windows on new construction.
- Incorporate similar shape and dimensions found in the Princes Street Residential and Durham Market character areas, such as rectangular, segmental arch or rounded arch windows.
- Use contemporary metal, vinyl, wood or composite entrance doors on new construction. Both glazed and unglazed entrance doors are appropriate.

Guidelines

- Porches (either full or partial) or entrance landings at main entrances are common on historic residential properties, and are encouraged on new residential design.
- Dormer windows, if included in new design, should be complementary to the roof pitch and type.

4.7.3.6 Architectural Style and Details

Guidelines

- Design new buildings using contemporary design that is sympathetic and compatible to the character of the HCD. Sympathetic does not mean new buildings should directly copy or mimic historic buildings by installing historically accurate brackets, bargeboard, brickwork, window surrounds, belvederes, etc. Compatibility with historic buildings is best achieved through form, scale, and materials rather than mimicking historical details and creating a false sense of history.

4.7.4 Other Properties

'Other' properties, for new construction, refers to any building type that is not single-detached residential or commercial in nature. This may include many types and forms, and it is not feasible for the HCD Plan to assume all possibilities. Therefore, the following policies and guidelines are general in nature and should be followed where applicable to encourage design that is sympathetic and compatible to the character of the HCD, regardless of the building use or overall type.



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4.7.4.1 Height, Massing and Setbacks

Policies

- When determining the siting of new construction, follow the policies and guidelines in Section 4.2, specific to the character area in which the new development is proposed.
- Conserve the existing character of the streetscape by limiting the height of new buildings to be consistent with immediately adjacent properties. If adjacent properties are of different heights, the height of the new building can match the taller building, to a maximum of four storeys.
- Additional height of new buildings may be approved if the additional storeys are set back from the façade roofline by at least five metres. Additional stories should be approved only where shadow studies demonstrate no adverse impacts on adjacent heritage attributes. Where additional height is approved, further stepbacks are encouraged to maintain the experience at the pedestrian realm and avoid the bulk of a solid mass and to transition the taller building form towards adjacent lower height buildings.

4.7.4.2 Building Materials

Policies

- Use brick, especially red or buff brick, as a primary cladding material on new construction for street-facing facades. Facades not visible from the public realm may be clad in alternate materials.

Guidelines

- Secondary cladding materials may also be used that are compatible with the HCD character, including stone, metal, and wood.
- Contemporary materials may also be used on new construction, to indicate that the building is designed in its own era. Wherever possible, consider blending contemporary materials (such as glass, concrete, or composite materials) with brick, stone, wood or historically used materials to allow the building to be compatible with the surrounding environment.

4.7.4.3 Roofing

Policies

- Use a roof pitch and type that is reflective of the dominant character in the immediate surroundings.

Guidelines

- Use contemporary roofing materials on new construction (asphalt, metal, or composite).
- Select colour palettes for roofing materials that are neutral (black, brown, grey) with pitched rooflines are visible from them public realm.



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- Allow for and encourage 'green' roof and sustainable design where feasible.

4.7.4.4 Façade Composition

Policies

- Complement the surrounding character area with façade composition on new construction, reflective of the predominant patterns of façade organization regarding the horizontal spacing and vertical alignment of windows and entrances.
- Include proportions of wall-to-glazing that are appropriate to the established character of contributing buildings in the HCD – typically in the range of 25-75%, depending on building type.
- Require breaks in all exterior building elevations longer than 10 metres through design elements, changes in material, or architectural articulation.

Guidelines

- Maintain consistency of floor to ceiling heights of new design with adjacent buildings, where feasible or appropriate.

4.7.4.5 Windows and Entrances

- Use contemporary metal, vinyl or wood frame windows on new construction.
- Incorporate similar shape and dimensions found in the HCD such as rectangular, segmental arch or rounded arch windows.

Guidelines

- Use single or double entrance doors that adhere to AODA standards.
- Select doors that are made with traditional (wood and glass) or complementary contemporary materials (glass, metal, and fiberglass).
- Dormer windows, if included on new design, should be appropriate and compatible to the roof pitch and type.

4.7.4.6 Architectural Style and Details

Guidelines

- Design new buildings using contemporary design that is sympathetic and compatible to the character of the HCD. Sympathetic does not mean new buildings should directly copy or mimic historic buildings by installing historically accurate architectural details. Compatibility with historic buildings is best achieved through form, scale, and materials rather than mimicking historical details and creating a false sense of history. In some instances, contemporary interpretations of historic building details



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(gables, dormers, cornice, parapets, window surrounds or trim) can be an effective way of maintaining the character of the area while allowing for new design.

4.8 DEMOLITION

4.8.1 Demolition of Contributing Resources

The Municipality is committed to conserving the heritage attributes of the Kincardine HCD. To support the conservation of the HCD's attributes, the demolition of contributing buildings within the HCD is strongly discouraged. Contributing buildings are to be conserved, maintained and restored instead of allowing them to deteriorate. Demolition by neglect (the act of allowing a building to slowly decay through lack of maintenance or vacancy) is not acceptable. It is, however, noted that demolition of contributing buildings may occur in exceptional circumstances. The following policies and guidelines apply to demolition requests for contributing buildings, including municipally owned properties.

Policies

- Council may permit demolition of contributing buildings within the HCD only under extenuating circumstances such as catastrophic damage from fire, flood or other natural disasters, or structural instability. If a property owner proposes the demolition of a contributing building, Council may consider the application. The application must be accompanied by a Heritage Impact Assessment (HIA) prepared by a qualified heritage professional and member of the Canadian Association of Heritage Professionals that outlines potential impacts to the heritage resource(s) and heritage attributes of the HCD. The HIA shall contain mitigation measures where adverse impacts are anticipated. Council has the authority to refuse applications for demolition if they determine demolition does not support the goals and objectives of the HCD Plan, or if the demolition poses adverse impact on the heritage attributes of an individual property or the district heritage attribute.
- If a contributing building is approved for demolition, new development is to adhere to the HCD policies and guidelines for new construction in Section 4.7 if a new building is proposed for the site of the property to be demolished.

Guidelines

- If demolition is approved by Council, document buildings prior to demolition. Documentation can be achieved through written/photographic form for deposition in municipal archives. Consideration should be given to salvaging materials from the building to be demolished, and where possible, reusing the salvaged materials in future construction or site features.
- Where appropriate, encourage commemorative or interpretive features, such as plaques or panels at the site where contributing buildings are demolished, particularly if the HIA identifies a significant person, event, group, organization, or theme associated with the property.



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4.8.2 Demolition of Non-Contributing Resources

Non-contributing resources may not contribute the same historic architectural styles or materials to the HCD Streetscape as contributing building. They may be newer construction, or older buildings that have been irreparably altered. While demolition of these properties may not result directly in the loss of heritage attributes of a particular building, their loss can impact the broader HCD character and street wall by creating gaps or vacant areas inconsistent with the look and feel of the HCD. Therefore, Council will adhere to the following guidance on the demolition of non-contributing properties.

Policies

- Council may permit the demolition of non-contributing buildings in the HCD following approval of a heritage alteration permit. Applications for the demolition of non-contributing building shall be accompanied by a development proposal or plan for the property.
- Where new development is proposed, it must follow the policies for new construction outlined in Section 4.7 of this Plan.

4.9 STREETScape AND LANDSCAPING

4.9.1 Introduction

Cultural and natural landscapes are a living heritage resource and are in a continuous cycle of growth, decline and regeneration. In general terms, unlike most built structures, vegetation such as trees and shrubs have finite lifespans. The cultural landscape that is found within the Kincardine HCD reflects the past and present values of the area's residents: the large, well-groomed and landscaped lawns of the residential properties, the bustling nature of the commercial core, the tree-lined streets which knit them all together, and the views to the marina and Lake Huron that reveal the pride and sense of community that resides within the district.

Landscape elements can provide an opportunity to unite a streetscape and harmonize fragmented or insensitive built elements. The umbrella-like canopies of mature street trees, for instance, provide a strong unifying element throughout the residential streets of downtown Kincardine, where there are different building styles and uses. They are the one common element that is repeated rhythmically throughout the entire area, and they are often of such mass and presence that they can overcome other disjointed elements within the streetscape and maintain the sense of the place within the district.

The cultural landscape is an aggregate of elements that are both public and private. Often it is the public space that is thought of as the streetscape, however, many of the elements found within the private realm can make powerful contributions to the streetscape. The character of the landscape is often defined within the public realm by elements such as the street trees, boulevards and parks and open spaces, as well as lighting and street furniture. Features of the private realm also contribute significantly to the overall character of a streetscape. Within the Kincardine HCD, the massing and setbacks of buildings, both residential and commercial, as well as trees and gardens, all contribute to the streetscape. It is this combination of public and private that form the streetscape as a whole.



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Many aspects of both our public and private spaces will have to transform in response to over-arching issues, such as climate change, that will affect not only how we use our landscapes, but their very composition and make-up. The intent of the heritage designation with respect to the landscape is to encourage preservation of the core elements that make up the landscape, such as mature street tree canopy, setback, size, form and massing, to protect the unified character of the neighbourhood.

The following conservation and design guidelines are intended to provide both the Municipality and private landowners with policies and guidelines for both the public and private cultural landscape within the HCD.

4.9.2 Private Realm

4.9.2.1 Trees

Mature trees located on private property and within public view greatly contribute to defining the heritage character of a neighbourhood. Where boulevard space is insufficient or nonexistent for public planting, trees on private property often compensate for gaps found in the streetscape canopy. By framing pleasant vistas and screening undesirable views, privately owned trees can play a significant role in the streetscape and enhance the visual aesthetics of the district.

The conservation and management of trees on private land generally is at the discretion of the property owner. Mature trees located on private property are a valuable resource to the property owner not only for the benefits provided in terms of shading homes in the summer, increasing property values, but also for the overall sense of wellbeing that trees can inspire. These trees can also be considered as a significant heritage resource and can be designated as a heritage tree through the *Ontario Heritage Act*, under the following definition from the Ontario Heritage Tree Association:

“A notable specimen because of its size, form, shape, beauty, age, colour, rarity, genetic constitution, or other distinctive features; a living relic that displays evidence of cultural modification by Aboriginal, or non-Aboriginal people, including strips of bark or knot-free wood removed, test hole cut to determine soundness, furrows cut to collect pitch or sap, or blazes to mark a trail; a prominent community landmarks; a specimen associated with a historic person, place event or period; a representative of a crop grown by ancestors and their successors that is at risk of disappearing from cultivation; a tree associated with local folklore, myths, legends or traditions; a specimen identified by members of a community as deserving heritage recognition”.

The care, maintenance, and replacement of the neighbourhood’s street trees are integral to sustaining the broad, green canopy that has become associated with the residential streets of downtown Kincardine.

Policies

- The Municipality should be consulted before removal of mature trees on private land as per the Draft Municipality of Kincardine Tree Policy and Overview.



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- Avoid pruning or removal of mature trees in the front or side yards on private property, unless they are severely damaged or ill, as indicated by a certified arborist. The definition of “mature” for the purposes of this plan is a tree that is over two feet wide in diameter.
- Seek the assistance of a certified arborist for pruning or removal of mature trees.
- Encourage the replacement of mature trees with new species selected from the list in Section 4.9.3.4.

Guidelines

While the Municipality is responsible for the management of public street trees, maintenance of areas around street trees in residential areas often falls upon private landowners. Property owners can assist the municipality in maintaining street trees adjacent to their property through the following guidelines:

- Avoid cutting down or damaging publicly owned street trees that are adjacent to your property. Remember that a publicly owned boulevard street tree can be on either side of the sidewalk, so confirm ownership before considering any action to the tree.
- If a street tree or other publicly owned tree, such as trees located in public open spaces or parks appears to be in poor health, severely damaged or in serious need of major pruning, contact the Municipality’s Parks and Recreation Department.
- Use care when cutting grass and using power lawn care equipment directly adjacent to street trees.
- If new street trees have been planted adjacent to your property, monitor them and water them regularly during periods of dry weather.
- Contact the Municipality for requests to plant trees within the boulevard.



Plate 20: Mature trees on private property add character to the HCD and should be maintained



Plate 21: Private owners should act with caution when caring for boulevard turf by mature street trees



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4.9.2.2 Landscaping and Gardens

Most landscaped and garden areas on private property have continually evolved and changed throughout the seasons and property ownership. It is expected that private gardens will continue to do so, and that private landscaping will support the character of the HCD by being sympathetic and compatible while still allowing for individual expression, seasonal decisions, and site conditions.

Policies

- Retain and repair historic fencing and garden walls, including metal and stone. Replace in kind where possible, or with sympathetic replacements.
- Allow sympathetic low metal or wood fencing, garden walls, retaining walls or border stones. Fencing or walls should be no taller than one metre. Avoid wood fencing that is a solid mass in favor of 'picket' style fencing. Low walls may be composed of brick or stone.

Guidelines

- Encourage a variety of landscaped front yards on private property, including lawn, formal planted beds, informal 'cottage' style or pollinator plantings, maintained vegetable gardens.
- Maintain a balance of softscaping (e.g., lawn or vegetation) and hardscaping (walkways, driveways, surface paving).
- Encourage the use of plant materials that were typical in a front garden landscape in late Victorian Southern Ontario residential landscapes, or plants that are historically sympathetic, such as those found in the tables below.

Table 1: Deciduous Trees

Botanical Name	Common Name
<i>Acer campestre</i>	Hedge maple
<i>Acer ginnala</i>	Amur maple
<i>Catalpa speciosa</i>	Western catalpa
<i>Cercis canadensis</i>	Eastern redbud
<i>Fagus sylvatica purpurea</i>	Purple beech
<i>Ginkgo biloba</i>	gingko
<i>Malus sargentii "Rosea"</i>	Pink Sargeant crab apple
<i>Quercus alba</i>	White oak
<i>Quercus rubra</i>	Red oak
<i>Sorbus aucuparia</i>	European mountain ash



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Table 2: Coniferous Trees

Botanical Name	Common Name
<i>Abie balsamea</i>	balsam fir
<i>Abies concolor</i>	white fir
<i>Juniperus virginiana</i>	eastern red cedar
<i>Picea glauca</i>	white spruce
<i>Picea pungens</i> 'glauca'	Colorado blue spruce
<i>Thuja occidentalis</i>	eastern white cedar

Table 3: Deciduous Shrubs

Botanical Name	Common Name
<i>Aronia arbutifolia</i> "brilliantissima"	red chokecherry
<i>Cornus sericea</i>	red osier dogwood
<i>Deutzia gracillis</i>	slender deutzia
<i>Euonymus alatus</i>	burningbush
<i>Forsythia x intermedia</i> 'spectabilis'	showy forsythia
<i>Hydrangea arborescens</i> 'grandiflora'	snowhill hydrangea
<i>Kerria japonica</i> 'Pleniflora'	Japanese kerria
<i>Ligustrum amurense</i>	Amur privet
<i>Lonicera morrowii</i>	honeysuckle
<i>Magnolia x soulangiana</i>	saucer magnolia
<i>Philadelphus coronaries</i> 'Aurens'	golden mock orange
<i>Prunus triloba</i> var <i>multiplex</i>	flowering almond
<i>Ribes alpinum</i>	Alpine current
<i>Syringa vulgaris</i>	common lilac
<i>Syringa x vulgaris</i> 'Belle de Nancy'	Belle de Nancy lilac
<i>Viburnum opulus</i> 'Sterile'	European snowball viburnum



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Table 4: Perennials

Botanical Name	Common Name
<i>Alyssum saxatile</i> 'Compacta'	Basket of Gold
<i>Anemone x hybrida</i> 'Whirlwind'	Whirlwind anemone
<i>Agueilegia canadensis</i>	Wild Columbine
<i>Campanula persicifolia</i> var	Bellflower varieties
<i>Centura dealbata</i>	Persian Cornflower
<i>Coreopsis</i> sp.	Coreopsis species
<i>Delphinium</i> sp.	Delphinium species
<i>Dianthus barbatus</i> var.	Sweet William varieties
<i>Dicentra spectabilis</i>	Bleeding Heart
<i>Digitalis</i> sp.	Foxglove species
<i>Echinacea purpurea</i>	Purple Cone Flower
<i>Iberis sempervirens</i>	Candytuft
<i>Iris germanica</i>	Bearded Iris
<i>Iris pseudoacorus</i>	Yellow Flag Iris
<i>Iris siberica</i>	Siberian Iris
<i>Liatrix spicata</i>	Blazing Star
<i>Lupinus</i> var.	Lupine varieties
<i>Monarda didyma</i> var	Bergamot/Bee Balm varieties
<i>Paeonia</i> sp.	Peony species
<i>Papavar orientale</i> var.	Oriental Poppy varieties
<i>Rudbeckia</i> sp.	Cone Flower species



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Plate 22: Private landscaping and gardens enhances the HCD from the streetscape



Plate 23: Landscapes and gardens can contain a variety of features and plant types and be sympathetic to the HCD



Plate 24: Low stone or masonry walls should be maintained



Plate 25: Historic metal fencing should be retained, repaired or replaced in-kind

4.9.2.3 Paving and Hardscaping

Many residential or commercial properties in the Princes Street or Durham Market character areas contain paving in the form of parking or driveway areas and pathways to building entrances. These are often necessary features of modern life and can be compatible with the HCD character when appropriately scaled.

Policies

- Allow for a range of paving materials on private property, including concrete, stamped concrete, asphalt, interlocking pavers, stone and gravel.
- New or modified driveways shall be a minimum of three metres and not occupy more than a third of the width of the property frontage, up to a maximum of nine metres as specified in the zoning by-law.



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Guidelines

- Paths and walkways may take linear or curvilinear forms. Encourage pathways that lead from the sidewalk to the main entrance of the property, in keeping with traditional historical landscaping patterns.



Plate 26: Pathways between residences and the street contribute to the traditional landscape pattern



Plate 27: Driveways can consist of a variety of paving types, but should not be wider than one third of the lot, or 9 metres as limited in the zoning by-law

4.9.2.4 Boulevards

Boulevards are typically defined as the area between the edge of pavement or curb if present, and the sidewalk or property line if no sidewalk exists. In the Kincardine HCD, they are often grassed, and serve to break up what can sometimes be an expansive sea of pavement within a streetscape. Boulevards also offer opportunity for street tree growth when they afford adequate space and are not already dominated by hydro lines. While boulevards fall within the public realm, they are most often maintained by private landowners, which can leave them susceptible to varying levels of treatment and care. Maintaining the visual appeal and functional characteristics of boulevards can be enhanced if the following guidelines are followed.

Guidelines

- Where boulevards are grassed, landowners should maintain the boulevards as part of overall lawn care responsibilities (i.e., watering, fertilizing, mowing, etc. as required).
- If plant materials other than turf grass are being considered within the boulevard, that they do so within any boundaries set out and defined within existing or future Municipal By-Laws, and that they ensure that the areas are maintained so as to avoid becoming a nuisance or danger to pedestrian or vehicular street users, and should maintain safe visual access and sight lines for pedestrians and vehicles.



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- When road reconstruction occurs, and where health and safety issues are not of concern, boulevards should be maintained as green space, serving as an important buffer between vehicular and pedestrian space within the streetscape.

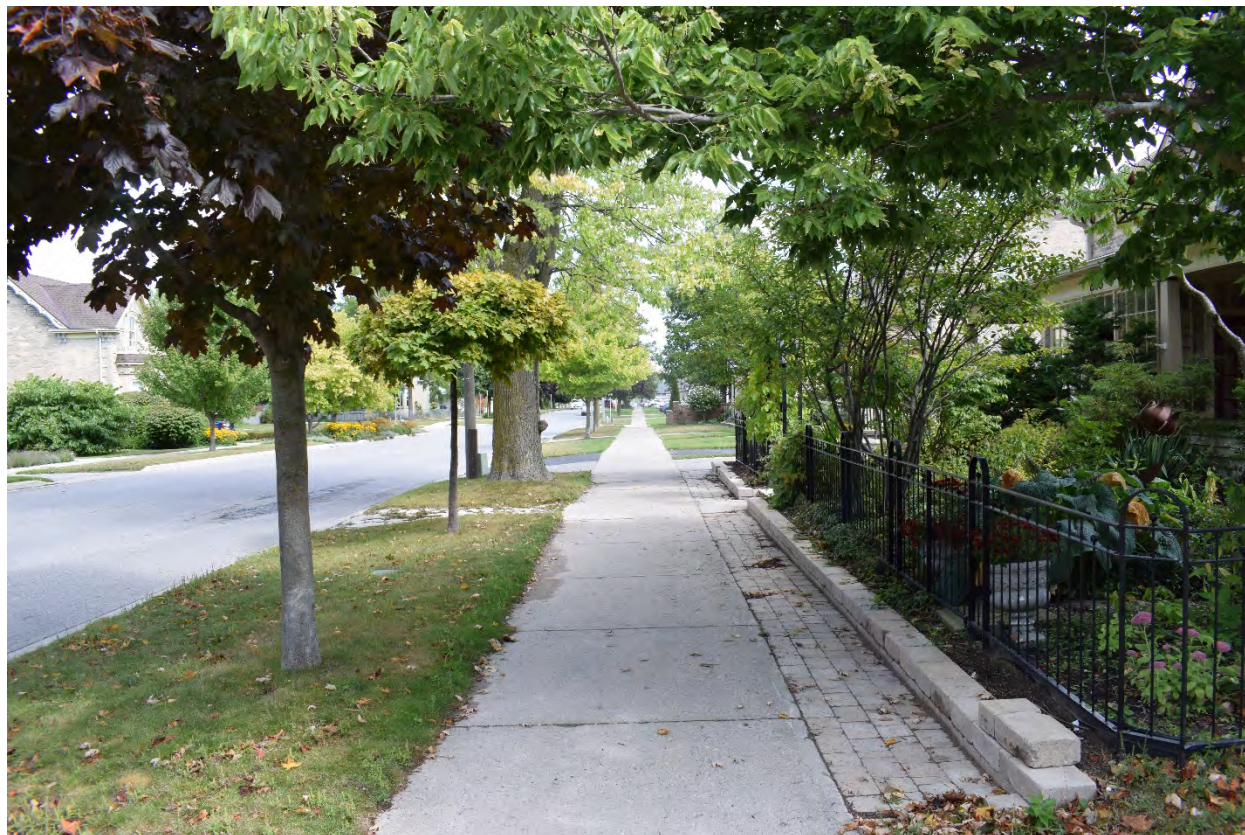


Plate 28: Boulevards mature trees and new stock contribute to the tree canopy and streetscape quality

4.9.3 Streetscape and Public Realm

4.9.3.1 Gateways and Approaches

Queen Street is the most prominent and travelled gateway and entry point into the HCD and is an excellent candidate for the incorporation of gateway features or treatments, which would enhance the sense of arrival into the district and reinforce the streetscape character of the neighbourhood. Secondary gateways along side streets should also be given consideration to enhance and unify the character of the HCD.

Guidelines

- Gateways to the HCD at Queen Street should be marked with defining elements that are sensitive to the heritage character of the district and help communicate district boundaries.



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- Banners utilizing the same style and poles that are already in use can be created and placed at the secondary entrances into the heritage conservation district.
- Elements such as public art, signage, and landscaping could also be considered for inclusion in these areas.

4.9.3.2 Streets and Sidewalks

Streets and lanes tie the landscape together, linking people and places with one another. Not only integral to transportation and movement, they are the conduits through which much of our public life passes and can play a fundamental role in the vitality of our communities. Queen Street is both the physical and commercial centre of the district. The street serves as an important pedestrian and vehicular linkage, but also functions as a destination, providing the community with shops, services, and institutional facilities. With respect to the downtown Kincardine commercial area, the following recommendations have been made.

Policies

- Maintain landscaped gathering nodes, to create visual character and vibrancy along the street.
- Maintain the establishment of distinct and unified street furniture and lighting along Queen Street, Harbour Street and Huron Terrace that is sensitive to the heritage character of the streetscape but does not create a false sense of heritage.
- Maintain and enhance the establishment of a pedestrian realm through the use of unified paving materials that are sensitive to the heritage character of the streetscape.
- Maintain the overall proportions of the street, boulevard, and sidewalk so that setbacks and the relationships between built form and the street remain consistent.

4.9.3.3 Boulevards

As previously described, boulevards are typically defined as the area between the edge of pavement or curb if present, and the sidewalk or property line if no sidewalk exists. In the HCD, boulevards play an important role in contributing to the character of the streetscape. The following policies apply to the Municipality regarding the conservation and enhancement of boulevards.

Policies

- Maintain and conserve existing boulevards in the HCD with regard to their location, size, and capacity for turf, vegetation and street trees.
- When road reconstruction occurs, and where health and safety issues are not of concern, boulevards should be maintained as green space, serving as an important buffer between vehicular and pedestrian space within the streetscape.



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- Where feasible, maintain original soils and/or topsoil depths to support the longevity of the street trees.

4.9.3.4 Street Trees and Vegetation

Any Municipal department contemplating tree removal must consider the policies of the HCD Plan and Guidelines and receive Council approval prior to taking any actions which may detract from the heritage character of the area. Staff responsible for tree removal shall adopt the policies and guidelines and where possible, communicate with planning staff regarding additions and replacements of vegetation over the future. The overall management of the urban forest which includes boulevard trees and vegetation located in parks and public open space would best be addressed by developing an urban forest management plan to ensure the long-term retention of the tree canopy.

A multitude of changing and evolving environmental conditions such as Asian Long Horn Beetle, global warming/droughts, rusts and blights, puts particular tree species under siege and threatens their very existence. Ash trees (*Fraxinus* spp.) were observed as part of the public domain streetscape. Subsequently, species selections for infill and replacement of mortalities within the HCD shall be at the discretion of qualified staff or consultants.

Some of the mature species are living narratives of what was planted in the past as street trees, such as Horse chestnut, Green and White ash and Silver maple. Elm trees were typical street trees, although they were not observed in the downtown core but were observed throughout the approaches to Kincardine. Typically, Horse chestnut is not currently planted due to the fruits being considered a hazard to personal and property well-being, and Silver maple are not in favour due to their expansive root system and keys (seeds) collecting in catch basins.

Most municipalities or regional/county governments have standards governing the installation of plant material and trees; these standards and details for boulevard street tree planting should be considered the minimum requirements for trees planted within the district. Specific to Kincardine is the knowledge that most of the street trees located in the public and private domain proximal to contributing buildings in general terms are in the original soils. This means unlike many modern developments where there may only be a few inches (i.e., less than 4 inches/10cm) of topsoil, the older vegetation in both the curb side and house side of sidewalks are in the original topsoil which supports the longevity of the street trees and trees in public open spaces such as Victoria Park. It is essential that the Municipality adopt a policy to preserve original soils wherever possible to support the longevity of trees located in the public domain.

Policies

- When planting or replacing street trees, select a species that will approximate the same visual character of the streetscape, where the historical streetscape form persists, to retain the consistency of the pattern and canopy structure.
- Select street trees that are hardy, drought, disease and salt spray tolerant, such as:
 - species of smaller maples trees (*Acer* spp) than Silver maple (medium sized)



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- newer cultivars of hybrid Asian elms resistant to Dutch elm disease such as Accolade™; Cathedral; Discovery; Triumph™; Commendation™; Danada Charm™
- American elm hybrids, such as Princeton, Prairie Expedition, New Harmony, and St. Croix. Note that these species tend to be larger than the Asian species so larger growing areas are recommended

Guidelines

- Where gaps in the continuity of tree plantings have appeared in the streetscape, they should be filled as expediently as possible given scheduling and budgets. The potential to replace trees on the private side of the property line should be explored where suitable growing conditions no longer exist on the public side.
- If and where feasible, consideration should be given to the caliper size of replacement trees when infill planting amongst mature trees; larger caliper infill trees should be selected in order to respect the size of the existing mature trees, and in respect to the character of the district.
- Where appropriate (as determined by qualified personnel-Municipal staff or consultants) infill trees should be either the same species as the trees adjacent to the infill location or of a similar form and size at maturity. Where infill or replacements are to be located amongst species that are deemed undesirable replacement species shall be at the discretion of Municipal staff or consultants with an understanding of maintaining the visual character of the streetscape.
- Any road-works or general construction, including infrastructure improvements that will impact the root zones or otherwise have the potential to seriously affect the health, growth and survival of the street trees must have an approved Tree Management Plan developed by a Certified Arborist or Registered Professional Forester. Engineering drawings, inclusive of road works, lighting, underground services must be reviewed and approved by Municipal staff.
- Communication must be provided by either the outside consultant or Municipal department when construction is about to commence to ensure establishment of tree protection/root zone measures are in place. Trees should be inspected during and after construction to ensure tree protection measures are in place and maintained in working condition, and that post construction conditions within the root protection zone have been restored to equal or better conditions.
- Where the Municipal staff prepares an assessment of existing trees and recommendations for replacements, the consulting engineer shall include this information within their construction package/tender and include suitable tree preservation/mitigation measures and specifications.
- Where construction and/or construction activities on private property may impact publicly owned trees, submissions for site plan approvals/permits shall be accompanied by a tree preservation plan clearly indicating measures to preserve the municipally owned tree and approved by the Forestry Group. The tree preservation plan shall be prepared by a Certified Arborist or Registered Professional Forester.



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4.9.3.5 Lighting

The way in which a street is lit can be a defining feature within a streetscape, not only because our night environment can be significantly enhanced by the quality of light provided, but also because the character of a street during the day can be significantly affected by the form of the light standard. Although in most cases it is not feasible to duplicate original light features, installing standards that complement the historic fabric of the area is an issue of sensitivity to existing heritage character, much the same as an adaptive reuse of the built form.

The following policies with respect to street lighting are made with the understanding that they will be followed as part of the natural course of street lighting repairs and upgrades, and are subject to funding availability:

Policies

- Maintain and continue the existing street lighting of ‘historically themed’ lighting fixtures throughout the HCD to enhance consistency with the character of the heritage district.
- New or replacement lighting should be ‘dark-sky friendly’ with a full cut-off to eliminate upward light spillage.
- New or replacement lighting should be energy efficient and implement LED or equivalent technology.



Plate 29: Light standards in the HCD should be of a unified design, with a continued approach to using ‘historically themed’ light standards



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4.9.3.6 Street Signage

Street signage is often referred to as a wayfinding tool; however, it can also serve as an identifying element within a streetscape. Given that street signs are common elements throughout a neighbourhood, they can be employed as tools to define areas of unique or special status.

Guidelines

- Continue the current practice of street signage in consistency with Municipal standards.
- Separate road and traffic signage from interpretive/commemorative and wayfinding signage from traffic signage so the two do not distract from each other.
- Consider establishing signage (e.g., street name signage) with unique colour and logo identifying the area as an HCD or distinct area. New street signs shall comply with Municipal standards.
- Encourage the continued use of decorative banners throughout the HCD, particularly in the Queen Street commercial character area and the Durham Market character area. Decorative banners affixed to light poles are an effective means of strengthening sense of place within a district.
- When included on new or retrofitted light standards, the banners should be co-ordinated with other elements within the district, such as the street signage, and installed along important thoroughfares that bound the area, or at the gateways into the area.
- The additional banners in the HCD should be undertaken in consultation with the Municipality's street lighting division so that banners are appropriately located and that the light standards are adequate to support them.



Plate 30: Banners and street signage can be a unifying element in the HCD when effectively coordinated



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4.9.3.7 Street Furniture

Street furniture can have a strongly unifying effect upon a streetscape if it is well coordinated. Placed in strategic areas, coordinated street furniture can be used to identify a space, set it apart from other neighbouring areas, and draw visitors into particular spaces.

Guidelines

- Maintain and enhance the current street furniture character that consists of a mix of “cottage style” furnishings with sympathetic heritage themed furnishings. This gives a unique character to the area and contributes to Kincardine’s sense of place.
- Where possible, install decorative trash receptacles, bike racks and benches rather than standard utilitarian ones. Within the Queen Street Commercial character area, custom bike racks have recently been installed. These bright, geometric racks serve a functional purpose, as well as act as public art within the streetscape. Similar types of features are encouraged.
- Prioritize gateway locations, the commercial core, and public parks for enhanced street furniture.
- Decorative street furniture should be coordinated, and if possible sourced from the same supplier in order to achieve economy of scale and a consistent and coherent appearance.



Plate 31: Street furniture consists of a mix of ‘cottage’ style and heritage sympathetic features. This pattern should continue, with a coordinated approach when street furniture is replaced



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4.9.3.8 Commemorative and Interpretive Elements, Public Art and Murals

Commemorative and interpretive features, such as plaques, signs, monuments, murals and public art, play an important role in creating a district community space and highlighting important events, groups, or themes in a community. While many of these features may not in themselves be 'historic', they add to the experience and sense of character in the HCD.

Policies

- Support the continued installation of commemorative character elements within the HCD. Retain, maintain, and enhance commemorative character elements within the HCD, including historically themed murals, banners, commemorative or interpretive signs, and plaques.
- When planning the location of murals, consider side facades of non-contributing buildings or those that do not contain original masonry to avoid damaging or obscuring original building materials when adding new painted murals. If contributing buildings are considered, use tactics to minimize damage to historic materials by applying removable covers or consulting with a building condition specialist prior to conducting work.

Guidelines

- When updating existing or establishing new commemorative features and public art engage in consultation with the community to reflect a more diverse historical narrative.
- Other methods such as QRS (Quick Response Systems – Bar Codes) can also be considered for new or additions to commemorative, interpretive or public art installments, or to link to existing or future walking tours.
- Consider the placement and composition of interpretive and commemorative elements to avoid creating areas that are over-crowded when adding additional commemorative character elements.



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Plate 32: Existing commemorative and interpretive features should be retained

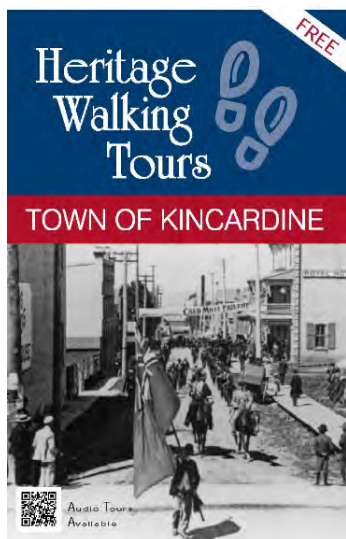


Plate 33: Commemorative features, public art, and interpretive elements help to actively tell the stories of Kincardine's past and are encouraged in the HCD

4.9.3.9 Parking

Policies

- Continue the pattern of on-street parking in a single lane on local streets in accordance with Municipal by-laws.
- Encourage the location of surface parking lots to the rear of buildings.



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- Include vegetative elements to soften the appearance of visible parking areas, such as hedge or vegetated screening, and/or the inclusion of planted 'islands' or trees.
- Design above-ground parking lots, if considered, in accordance with the policies and guidelines for New Construction within this plan such that they are compatible with the character of the HCD.

4.9.3.10 Plaza, Patio, Café, and Amenity Areas

The Queen Street commercial character area has a distinct character due to many elements associated with historical neighbourhoods that are already in place, such as enhanced pavement, streetscape furnishings and street trees all contributing to a sense of place, and in the case of a heritage district familiarity of place. The presence of enhanced streetscape elements creates a unique streetscape and sets the stage for attractive and compelling outdoor spaces. The following guidelines apply to existing and proposed future outdoor plaza, patio, café and amenity areas.

Guidelines

- Balance the functional considerations of parking and building access with the development of vibrant community spaces such as patios and sidewalk cafes, while at the same time creating a safe environment for all users in accordance with the Municipal outdoor café and patio policies.
- Encourage sidewalk cafes and patios, to create visual character and vibrancy along Queen Street and the Victoria Park courtyard perimeter in accordance with the Municipal outdoor café and patio policies.
- Maintain and expand enhanced paving materials and landscape elements, such as street furniture and lighting, to further define the pedestrian realm and further identify these areas as community space, where appropriate.
- Ensure exterior spaces associated with commercial, office, or institutional buildings are complementary to the indoor amenity areas.
- Ensure exterior spaces meet or exceed universal accessibility standards.



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Plate 34: Plaza areas, such as the entrance to Victoria Park at Queen Street provide both a focal point and gathering point in the community and are encouraged

4.9.3.11 Views and Vistas

Views and vistas serve as the windows to, from, or within the district. Views can take on a number of forms, each of which contribute differently to the look and feel of a place. Views to a landmark feature can provide a sense of unity within the surrounding neighbourhood by providing a central focal point to which the neighbourhood can connect to and can be a defining feature of a place. Designation under the *Ontario Heritage Act* can only relate to real property, and as such only vantage points from within the HCD can be managed by the policies and guidelines of an HCD plan, even when a view or vista extends beyond the HCD Boundaries.

Guidelines

- Preserve and maintain views and sightlines to the marina and Lake Huron by allowing for vantage points within the HCD, such as along Harbour Street, from the terminus of Durham Marker North and South at Queen Street, and from the Queen's Lookout parkette.
- Relocate utilitarian visual distractions such as trash receptacles and utility infrastructure where possible to avoid obstructing views.



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Plate 35: Gaps between buildings also provide scenic views to the marina and Lake Huron. Avoid disrupting views with visual distractions where possible.

4.9.4 Parks and Open Space

The most prominent greenspace within the HCD can be found on the grounds of Victoria Park and Queen's Lookout. Throughout the decades, the park's open lawns populated by mature trees have offered the neighbourhood residents a village green. Residents continue to use and enjoy this green space in much the same way, with the grounds providing an open space for both active and passive recreational activities.

Policies

- Maintain the existing stock of mature trees within existing parks and replace with the same species wherever possible, or an appropriate species (see Section 4.9.3.4) when replacement is required due to damage or dieback.
- Mature vegetation should be managed within public parks, adhering to current International Society for Arboriculture standards and practices for tree preservation and care.
- Retain the original layout and design of the grounds with respect to pathways, landscaped elements and garden beds, structures and built features.
- The original spatial organization should be retained, and the organization of elements, pathway and site circulation, views and topography should be preserved.



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- Retain and repair the existing historical features such as fountains, monuments and commemorative elements.
- Retain and repair existing structures such as archways, gazebos and shelters within the park. If replacement or additional features required, designs should be of a suitable size and scale to the park and be of a design that complements the park landscape and blends in with its surroundings (e.g., use of natural materials, neutral colour schemes and modest design).
- Retention or replacement of lighting, street furniture, signage and commemorative/interpretive features within park or open space areas shall follow the policies and guidelines in this plan under Sections 4.9.3.5, 4.9.3.6, 4.9.3.7, and 4.9.3.8.



Plate 36: Historic Park Features such as the fountain and cannon are to be retained and conserved. They contribute to the historic character of the park.



Plate 37: Contemporary park structures are sympathetic to the historic setting and also contribute to the character and sense of place within Victoria Park and are encouraged



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4.10 ACCESSIBILITY

Accessibility is an important consideration in an HCD. Historically, buildings were not often designed with accessibility in mind. However, through alterations and new construction in the HCD, accessibility can be introduced and enhanced by adhering to the following policies and guidelines:

Policies

- Include barrier-free design in all new construction. This includes commercial, residential and institutional building types.
- Include barrier-free design for all new streetscape, open space and park design to remove barriers for people with disabilities.
- Include barrier-free design on existing buildings when making alterations to entrances or other building features wherever possible, while avoiding damage or adverse impacts to original historic materials or heritage attributes.
- Wayfinding materials and signage should be visibly legible under AODA guidelines.

Guidelines

- Allow for temporary or transportable ramps to access commercial properties along Queen Street to improve access for people with disabilities even when alterations to entrances are not being proposed.
- Allow for the use of markers, grip-tape or finishes or similar devices on entry surfaces such as steps, landings or ramps.
- Allow the use of accessible door handles and railings at entrances on contributing and non-contributing properties.

4.11 SUSTAINABILITY AND ALTERNATIVE ENERGY

Research and new technologies continue to uncover more ways to improve the sustainability of new and existing buildings. Consideration should be given to improving the sustainability of HCD resources and allowing for appropriate means of alternative energy. Council should consider the following guidelines related to sustainability and alternative energy:

- Allow for the installation of solar panels on roofs, particularly on flat roof buildings or those that have low pitched roofs masked by parapets.
- Install solar panels, related infrastructure or other alternative energy sources set back from the roofline or parapet to be inconspicuous from the street level.
- Avoid removing or damaging historic materials when installing solar panels or related infrastructure.



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- Encourage property owners to conduct an energy audit prior to replacing original historic windows or doors to determine the greatest sources of heat loss. In some cases, minor repairs can provide as much improvement as full replacement.
- Allow for the use of 'green' building materials and techniques on new construction where the designs are compatible with the HCD character and consistent with guidelines in Section 4.7 for new construction.
- Encourage property owners to source materials from local suppliers and manufacturers, where possible.

4.12 PART IV DESIGNATIONS

The policies and guidelines of the Kincardine HCD Plan apply to all properties currently listed under Part IV of the *Ontario Heritage Act*. Any interior and exterior elements of the building/property under Part IV of the *Ontario Heritage Act* continue to remain protected in the same way prior to their designation under Part V of the *Ontario Heritage Act*. Property owners and the Municipality are to adhere to the requirements of Part IV designations within the HCD, unless otherwise repealed by Council. The process for making alterations or additions to Part IV designated properties must consider the heritage attributes or character defining elements outlined in the designating by-law for the property, as well as the policies and guidelines of the HCD Plan.

4.13 ADJACENT PROPERTIES

Development or alterations outside of the HCD boundary are not subject to the policies and guidelines of the HCD Plan, nor are they required to obtain heritage alteration permits. However, site alteration and development adjacent to the HCD is required to conform to the PPS. In accordance with Policy 2.6.3, proposed redevelopment and significant alterations adjacent to the Kincardine HCD must demonstrate that the heritage attributes of the adjacent HCD and/or heritage property will be conserved. To achieve this, the Municipality may require the preparation of a Heritage Impact Assessment (HIA) carried out by a qualified professional for development adjacent to the HCD. The HIA should be conducted by a member in good standing of the Canadian Association of Heritage Professionals (CAHP). The Municipality, the Municipal Heritage Committee and Council may require that a proponent implement mitigative measures where impacts on the HCD attributes are identified, as outlined in the HIA.



5.0 IMPLEMENTATION

5.1 INTRODUCTION

The Municipality's Official Plan contains the framework for establishing Heritage Conservation Districts. To implement the Downtown HCD, the Municipality will adopt a by-law designating the area as a Heritage Conservation District, requiring alterations and development to follow a heritage alteration permit process. The Municipality will serve a notice of intention to adopt the by-law to all property owners within the district boundary. Individuals who object to the by-law may appeal to the Local Planning Appeal Tribunal. Objections must be filed with the Tribunal and Municipal Clerk within 30 days after the notice of intention to designate is published. The Tribunal may dismiss the appeal, amend the by-law, direct Council to repeal the by-law, or direct Council to amend the by-law.

When the by-law is adopted, it will be registered on title with all property owners. The registration will remain on title for the property in perpetuity. The Municipality will file a notice with the Ontario Heritage Trust that the by-law establishing the HCD has been adopted.

Where required, the Municipality will make changes to the Official Plan or by-laws to support the establishment of the HCD Plan. The following sections provide an overview of the heritage alteration permit process, as well as other tools that are useful in implementing the HCD.

5.2 MUNICIPAL POLICIES

5.2.1 Applicability

The intent of HCD designation in Kincardine is not to prevent future change, reinvestment, and/or redevelopment. Rather, the primary focus of the HCD Plan is to *manage change*. This plan requires that contributing resources are not demolished without due cause (i.e., severe structural damage or fire), and that any alterations or additions, redevelopment, and public infrastructure projects within the heritage conservation district are in keeping with the guidelines of the Plan. It is expected that over time, applications subject to other municipal policies (such as Zoning by-law amendments, consents, and minor variances) will be made within the HCD. The municipal policy framework with respect to zoning and Official Plan policies will remain in effect if an HCD is established, and the typical processes will be followed regarding any zoning by-law or official plan amendments. However, as established by the *Ontario Heritage Act*, in the case where an existing or proposed municipal by-law is in conflict with the policies of the HCD Plan, the policies of the HCD Plan will prevail.



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5.2.1.1 Consent and Minor Variances

Bruce County is responsible for granting consents to sever or subdivide property in Kincardine in accordance with the *Ontario Planning Act*. The Municipality's Committee of Adjustment is responsible for granting minor variances from the requirements of the Municipality's Zoning By-law, including variances to building heights, setbacks and parking, and ensuring these changes are consistent with the intent of the Official Plan, Zoning By-law, and other applicable plans or policies.

It is recommended that:

- The decisions of the County and Committee of Adjustment have regard for the policies and guidelines of the HCD Plan when reviewing applications within the district.
- The Municipal Heritage Committee be circulated all severance and minor variance applications within the HCD and provide comments to be considered by the County and Committee of Adjustment.
- The County refuse severance applications where the resulting parcel size would have a negative impact on the heritage attributes of the HCD and/or would not be in keeping with the adjacent protected heritage resources, recognizing that the general intent of the applicable Official Plan policies and Zoning By-law are to support a continuation of the prevailing lot fabric that has been established over time.

5.2.1.2 Building Permits

In the Municipality of Kincardine, Building Permits are required for the construction or alteration of any building occupying an area greater than ten square metres (108 square feet) consisting of a wall, roof, and floor (or any of them), or a structural system containing plumbing, and structures designated in the *Ontario Building Code*.

Building Permits will continue to be required within the HCD. Municipal planning staff should be involved in the review of Building Permit applications involving protected heritage resources within the HCD to provide comments and determine requirements for a Heritage Alteration Permit if necessary.

It is noted that:

- Obtaining a Heritage Alteration Permit does not negate the necessity of other permits required under other legislation (such as the *Ontario Building Code* or the *Planning Act*); and
- Obtaining a permit under other legislation (such as the *Ontario Building Code* or the *Planning Act*) does not negate the requirement for obtaining a Heritage Alteration Permit.

5.2.1.3 Property Standards By-Law

The Municipality established By-law 2019-123 (the Property Standards By-Law) under the *Ontario Building Code Act* to prescribe minimum the standards for maintenance and occupation of properties. All properties in the HCD are subject to the Property Standards By-Law.



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The OHA provides the authority for municipalities with existing property standards by-laws to prescribe within the by-law the minimum standards for the maintained of heritage attributes of properties within an HCD. It also allows the municipality to require that property owners to repair and maintain properties to conform to the standards if they are found to not comply.

It is recommended that the Municipality amend their Property Standards By-Law in accordance with the provisions of the OHA to specifically reference the HCD and provide the minimum standards for heritage properties within the HCD. This may include, but is not limited to, the following:

- Clear definitions of heritage property and heritage attributes as they apply to the by-law
- Standards for the repair, maintenance and occupancy of HCD properties
- Clear statements of requirements to follow the provisions of the OHA with respect to acquiring heritage alteration permits when undertaking work to comply with the Property Standards By-Law

5.3 HERITAGE ALTERATION PERMIT PROCESS

5.3.1 Roles and Responsibilities

HCDs are managed by Municipal planning staff, the Municipal Heritage Committee and Council in cooperation with property owners. Each group has their own roles and responsibilities to play in establishing a successful HCD, as outlined below.

Municipal Staff

- Advise property owners when heritage alteration permits are required
- Receive and review heritage alteration permits for completion
- Determine if alteration is delegated to staff approval (if applicable)
- Acknowledge receipt of application and begin 90-day process to grant or refuse permit, if permit is delegated to staff authority
- Forward alteration permit application to the Municipal Heritage Committee for discussion and review at next available meeting, where applicable
- Work with property owner to modify application/plans, if required
- Grant or refuse permit

Municipal Heritage Committee

- Include staff reports and heritage alteration permit applications during regularly scheduled meetings
- Receive delegations at committee meetings to speak on behalf of their applications
- Review alteration permit applications and their adherence to the HCD Policies and Guidelines



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- Provide constructive comments or feedback on where applications may need revision to meet the HCD policies and guidelines
- Make recommendation on granting, granting with conditions, or refusing heritage alteration permits

Council

- Acknowledge receipt of application and begin 90-day process to grant or refuse permit
- Include the Municipal Heritage Committee resolutions, staff reports and heritage alteration permit applications during regularly scheduled meetings
- Receive supporting staff reports, applications, or other documentation regarding alteration permit applications
- Receive delegations at Council meetings to speak on behalf of their applications, if applicable
- Make decision on granting, granting with conditions, or refusing heritage alteration permits within 90 days of receiving the application
- Revise decisions regarding Local Planning Area Tribunal regarding application permits, if applicable

Property Owners

- Review the HCD Plan to determine if a heritage alteration permit is required for the proposed work
- Consult with Planning Staff to discuss the nature of the proposed alteration or development and confirm requirements of the heritage alteration permit
- Review the policies and guidelines of the HCD Plan
- Apply for heritage alteration permit with required supporting documentation
- Undertake alterations and development in accordance with the principles, policies and guidelines outlined in the HCD Plan

5.3.2 Heritage Alteration Permit Applications

The Municipality currently has a heritage alteration permit system in place to manage heritage alteration permit applications for properties designated under Part IV of the *Ontario Heritage Act*. The existing permit system requires review and approval by the Municipal Clerk, which was delegated under By-law 2016-111. Council is the ultimate decision maker in the heritage alteration permit process, unless there is an appeal process (see Section 5.75.3.5).

A similar process will be employed when the HCD is implemented. Applications for a heritage alteration permit will be directed to Municipal Clerk's Department and reviewed by the Municipal Heritage Committee for a recommendation to Council on whether to approve, refuse, or approve the alteration permit with conditions.



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It is recommended that the Municipality update their heritage alteration permit application to include applications for the HCD. The Municipality shall outline what information is required for a heritage alteration permit. Typically, this includes, but is not limited to:

- Current contact information of the property owner or representative
- Site plan or sketch detailing the proposed location of alteration or development on the property
- Clear description of the proposed alteration or development
- Drawings of the proposed alteration or development, where applicable, detailing materials, dimensions and written specifications
- Photographs of the current condition of the property
- Supporting documentation such as historic photographs, plans or similar buildings/alterations/developments
- Signature of authorization by the property owner
- A Heritage Impact Assessment, where applicable

5.3.3 Heritage Alteration Permit Exemptions

The OHA requires a list of alterations or classes of alterations that are minor in nature and do not require a heritage alteration permit. The following provides a list of alterations that are **exempt** from permits:

- Interior work (unless otherwise specified from a Part IV designation)
- Alterations to rear facades that are not visible from the public realm of the HCD
- Minor repairs (e.g., patching holes, re-affixing existing features) and cleaning
- Painting trim, window frames and entrance doors
- Painting brick or cladding surfaces that have **already been painted**
- Painting non-painted brick or cladding surfaces on **non-contributing buildings**
- Replacing existing windows or doors with new features of the **same materials, styles and dimensions**
- Replacing roofing material with the same materials (e.g., asphalt to asphalt, metal to metal, slate to slate, cedar shingles to cedar shingles)
- Replacing existing gutters, downspouts and soffits with the same materials
- Changes to existing exterior lighting on residential properties



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- Vegetative landscaping (softscaping) e.g., planting flower gardens, shrubs, laying or removing sod, adding or modifying garden beds or planters
- Re-paving residential driveways and walkways with the same material and the **same dimensions** (e.g., asphalt to asphalt, interlock pavers to interlock pavers, concrete to concrete)

All other activities not included on the list above require a heritage alteration permit. It is recommended that property owners consult the Municipality if they have any questions about whether a particular activity may or may not require a permit.

The Municipality is also required to follow the requirements of the HCD Plan when undertaking municipal works. As outlined in the *Ontario Heritage Act*, the Council of a municipality may not carry out any public work in a heritage conservation district that is contrary to the objectives of the Plan. As such, the Municipal Heritage Committee review and Council approval is required for municipal infrastructure, streetscaping, major park landscaping projects, or the installation of public art/murals, to ensure they are consistent with the policies and guidelines of the HCD Plan. The following Municipal actions are exempt from requiring the Municipal Heritage Committee and Council approval:

- Changes to road signage
- Replacing existing light standards in-kind
- Replacing existing street furniture in-kind
- Annual streetscape planters and park landscaping (e.g., planting of annuals in existing garden beds)
- Routine park maintenance (mowing lawn, trimming vegetation, cleaning/repairing park furniture)

5.3.4 Delegated Authority

The *Municipal Act* and the *Ontario Heritage Act* provide municipal councils with the ability to delegate their authority in granting heritage alteration permits to municipal staff. This means that certain classes of alteration permits would be approved by Municipal clerk staff without requiring review and recommendation from the Municipal Heritage Committee and approval by Council. Prior to establishing a delegated authority by-law, Council should consult with the Municipal Heritage Committee on the matter.

Delegated authority can be useful to streamline the heritage alteration permit process and can reduce wait times for the permits. Municipalities may implement delegated authority by-laws when the volume of permits becomes too high for a committee to reasonably manage in addition to their other items, however the by-law can also be implemented at the outset of the HCD as well. In a process with delegated authority, the Municipal Heritage Committee and Council may be notified of Staff's decisions as a courtesy. The Municipality has already passed a delegated authority By-law allowing the Clerk to make decisions on Part IV designations. It is recommended that the by-law be amended to include delegated authority for Part V designations as well.



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It is recommended that delegated authority be considered when applications for alterations are minor in nature. This may include, but is not limited to:

- Alterations to roofing materials or colours
- Replacement of an exterior heritage feature in kind
- Alterations or removal of exterior lighting
- Alteration, removal or replacement of non-heritage features on contributing heritage buildings
- Temporary alterations or actions in an emergency where a building is at risk

Applications that would not be subject to a delegating bylaw and should be reviewed by the Municipal Heritage Committee and Council typically include the following types of alterations:

- Applications involving demolition of contributing properties
- A large-scale or complex development application
- Applications that are of a sensitive or controversial nature
- Applications for heritage permits that are retroactive in nature
- Applications that have been refused by the Municipality through delegated authority, or appealed terms and conditions of a permit as issued by Municipal Buildings and Services Department

5.3.5 Appeals Process

As per the *Ontario Heritage Act*, property owners have the right to appeal the decision of Council to refuse a heritage alteration permit or the terms and conditions applied to the granting of a heritage alteration permit. Appeals will be directed to a Local Planning Appeals Tribunal. A property owner must appeal the decision of council to refuse or apply terms and conditions to the permit with 30 days of receiving notice of Council's decision.

The Tribunal shall hear the appeal and may take one of the following actions:

- Dismiss the appeal
- Direct that the permit be issued without terms and conditions or with such terms and conditions as ordered by the Tribunal



5.4 EDUCATION AND PROMOTION

Education and promotion can be a valuable part of successfully managing an HCD. Providing property owners, the heritage committee and Council with tools to understand the HCD process and tools at their disposal helps to get all parties on the same page with proposing or reviewing applications for alterations or new development.

It is recommended that the Municipality establish a page on its website dedicated to the HCD, with copies of the Study and Plan available for download. This page may also include an overview of the heritage alteration permit process, the requirements for submitting a heritage alteration permit, a copy of the heritage alteration permit application, and links to helpful resources. Such resources may include:

- *The Ontario Heritage Act*
- The Ontario Heritage Tool Kit
- The Ontario Heritage Trust
- *The Standards and Guidelines for the Conservation of Historic Places*
- Other websites or documents that provide guidance on maintaining, repairing or enhancing historic buildings and places

It can also be beneficial for municipalities to provide tools to educate property owners and business owners on other aspects outside of the implementation details. This might include providing an overview of how property owner's investments in their properties can be protected by the HCD process, links to groups or organizations that can provide support or resources for property owners (see Appendix C), information on financial incentives available for property owners, and answers to frequently asked questions about HCDs. Links to these tools in a dedicated place can be valuable resources when an HCD is newly implemented. Over the long term, as properties change hands, these tools can continue to be useful resources for new property owners.

Promoting the HCD within and outside of the community is in line with the municipality's direction in promoting Kincardine as a tourist destination. Encouraging community engagement in the HCD through festivals, events, guided and self-guided tours and "Doors Open" events can draw interest and benefit the downtown revitalization. It is recommended that the Municipality engage with downtown business owners, residents and organizations to establish appropriate promotional materials and events.

Other means of promoting the HCD may come through recognizing the efforts of property owners by establishing local awards programs, such as urban design awards or heritage focused awards. Annual awards created by the municipality or local heritage organizations may highlight examples of restoration, façade improvements or new development that comply with HCD policies and heritage best practices.



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5.5 MONITORING PROGRAMS

Policies and best practices change and evolve over time. It is recommended that the HCD plan be reviewed and updated intermittently so that it remains reflective of the appropriate planning and heritage frameworks. Review should typically occur within a five-to-ten-year period of its publication, or as applicable based on municipal requirements and budgetary considerations.

5.6 INCENTIVE PROGRAMS

Under the *Municipal Act*, municipalities also have the authority to provide tax relief to heritage property owners by passing by-laws to create a property tax incentive program for heritage properties. Tax relief can be between ten and 40 percent of the owner's property taxes. Relief may come in the following forms, as outlined in *Getting Started: Heritage Property Tax Relief, a Guide for Municipalities* (Government of Ontario 2005):

- Reduction of taxes by applying a credit against the owner's property tax account to reduce the total balance owed in the current year (owners would see a credit adjustment posted on their property tax bill)
- Refunding taxes by issuing a cheque
- Crediting all or part of the tax reduction against the owner's outstanding property tax liability from the current year and/or previous years, if applicable

At present, the Municipality does not have any financial incentive programs in place for heritage property owners. It is recommended that the Municipality explore financial incentive opportunities to assist property owners in the HCD to maintain, restore and repair heritage properties, as this benefits the community by helping to achieve the goals and objectives of the HCD.

It is also noted that there are additional financial incentive options for promoting the restoration and protection of heritage features/buildings that can be implemented through Community Improvement Plans (CIPs). While there is a CIP Area in Kincardine for the BIA CIP Project Area, this is operated by Bruce County, and the Municipality does not currently have a CIP in place. If a municipally-funded were implemented in the future there may be opportunities to link municipal CIP funding with heritage funding for commercial properties within a defined CIP area. The Municipality could offer increased grant values to applicants who propose and can demonstrate that their improvement project will restore heritage features. For example, a façade improvement grant could be increased if an applicant can demonstrate how and what features will be restored and provide documentation of the original building features. Other municipalities have created independent CIPs for Heritage Conservation Districts. These CIPs offer a set of incentive programs that are only available to properties within the Heritage District and are meant to help property owners and tenants with funding for restoration and building enhancements.



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5.7 HERITAGE REGISTER

The *Ontario Heritage Act* requires the Clerk of a municipality to maintain a register of heritage properties within the municipality, including heritage conservation districts. It is recommended that the Municipality update their existing heritage register to include a map and description of the HCD. It is further recommended that the Municipality update the register to include the addresses of each property within the HCD (potentially in a separate section of the register noting that the properties are designated under Part V). It is recommended that the Municipality maintain an up-to-date copy of the Register on their website for ease of public access.

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6.0 CONCLUSIONS

The contents of this Plan are intended to guide the Municipality of Kincardine, Council, and property owners in working together to conserve the cultural heritage value of the Kincardine HCD. Through managing the changes in the HCD, the community has a stake in how the HCD continues to evolve over time. This HCD Plan provides the roadmap to decision-making for the most common types of change an HCD is likely to encounter, including the alteration of a variety of building types, additions to existing buildings, and new development. The Plan also provides guidance on streetscaping and landscaping throughout the HCD. As communities continue to evolve and grow, and policy frameworks inevitably change, the HCD Plan cannot imagine all the possibilities of change that may occur or be proposed within the HCD. Where specific scenarios are not present within this plan, the overall objective of the HCD Plan and Principles should be consulted for guidance on decision-making, as these relate to the core values identified for the HCD, and long-standing heritage best practices. Through this approach, the cultural heritage values of the Kincardine HCD can be retained for future generations and managed in such a way that reflects the continually evolving nature of human society.

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7.0 SOURCES

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Government of Ontario. 1990. *Ontario Heritage Act, R.S.O. 1990, CHAPTER O.18. Last amendment: 2009, c. 33, Sched. 11, s. 6*. Electronic Document: <https://www.ontario.ca/laws/statute/90o18>

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Ministry of Culture. 2006. *Ontario Heritage Toolkit, Heritage Conservation Districts: A Guide to District Designation Under the Ontario Heritage Act*. Electronic document:

http://www.mtc.gov.on.ca/en/publications/Heritage_Tool_Kit_HCD_English.pdf.

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Ontario Historical Society. 2008. *Accessible Heritage: An Accessibility Tool Kit for Ontario's Organizations and Institutions*.

Parks Canada. 2010. *Standards and Guidelines for the Conservation of Historic Places*. Electronic Document: <http://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>. Last accessed: September 30, 2020.



APPENDIX A

Contributing and Non-Contributing Properties



Address Number	Street Address	Contributing/Non-Contributing
315	Durham Market North	Contributing
325	Durham Market North	Contributing
329	Durham Market North	Contributing
335	Durham Market North	Contributing
343	Durham Market North	Contributing
312	Durham Market South	Non-Contributing
320	Durham Market South	Non-Contributing
330	Durham Market South	Non-Contributing
338	Durham Market South	Contributing
346	Durham Market South	Contributing
235	Harbour Street	Contributing
236	Harbour Street	Contributing
249	Harbour Street	Contributing
252	Harbour Street	Non-Contributing
259	Harbour Street	Contributing
260	Harbour Street	Contributing
262	Harbour Street	Non-Contributing
274	Harbour Street	Non-Contributing
279	Harbour Street	Contributing
284	Harbour Street	Contributing
286	Harbour Street	Contributing
291	Harbour Street	Contributing
322	Lambton Street	Contributing
326	Lambton Street	Contributing
330	Lambton Street	Non-Contributing
336	Lambton Street	Non-Contributing
334	Lambton Street	Contributing
749	Princes Street	Contributing
757	Princes Street	Contributing
680	Princes Street	Contributing
681	Princes Street	Contributing
686	Princes Street	Non-Contributing
689	Princes Street	Contributing
705	Princes Street	Non-Contributing
721	Princes Street	Contributing
731	Princes Street	Contributing
737	Princes Street	Contributing

Address Number	Street Address	Contributing/Non-Contributing
743	Princes Street	Contributing
744	Princes Street	Contributing
750	Princes Street	Contributing
756	Princes Street	Contributing
766	Princes Street	Contributing
769	Princes Street	Contributing
776	Princes Street	Contributing
779	Princes Street	Contributing
786	Princes Street	Contributing
791	Princes Street	Contributing
795	Princes Street	Contributing
796	Princes Street	Contributing
803	Princes Street	Contributing
804	Princes Street	Contributing
809	Princes Street	Contributing
810	Princes Street	Contributing
813	Princes Street	Contributing
816	Princes Street	Contributing
817	Princes Street	Non-Contributing
708	Queen Street	Non-Contributing
716	Queen Street	Non-Contributing
724	Queen Street	Non-Contributing
726	Queen Street	Non-Contributing
727	Queen Street	Contributing
728	Queen Street	Non-Contributing
732	Queen Street	Contributing
735	Queen Street	Non-Contributing
736	Queen Street	Contributing
737	Queen Street	Contributing
740	Queen Street	Non-Contributing
743	Queen Street	Contributing
746	Queen Street	Contributing
747	Queen Street	Contributing
751	Queen Street	Non-Contributing
756	Queen Street	Contributing
757	Queen Street	Non-Contributing
760	Queen Street	Contributing

Address Number	Street Address	Contributing/Non-Contributing
761	Queen Street	Contributing
765	Queen Street	Contributing
767	Queen Street	Contributing
768	Queen Street	Contributing
770	Queen Street	Contributing
775	Queen Street	Contributing
776	Queen Street	Contributing
777	Queen Street	Contributing
778	Queen Street	Contributing
787	Queen Street	Contributing
788	Queen Street	Contributing
790	Queen Street	Contributing
791	Queen Street	Contributing
798	Queen Street	Contributing
801	Queen Street	Contributing
804	Queen Street	Contributing
807	Queen Street	Contributing
809	Queen Street	Non-Contributing
811	Queen Street	Contributing
814	Queen Street	Non-Contributing
819	Queen Street	Non-Contributing
822	Queen Street	Non-Contributing
719-723	Queen Street	Contributing
750-754	Queen Street	Contributing
784-786	Queen Street	Contributing
793-795	Queen Street	Contributing
707	Queen Street (Old Town Hall)	Contributing
707	Queen Street (Victoria Park)	Contributing

APPENDIX B

Historic Property Use by Address



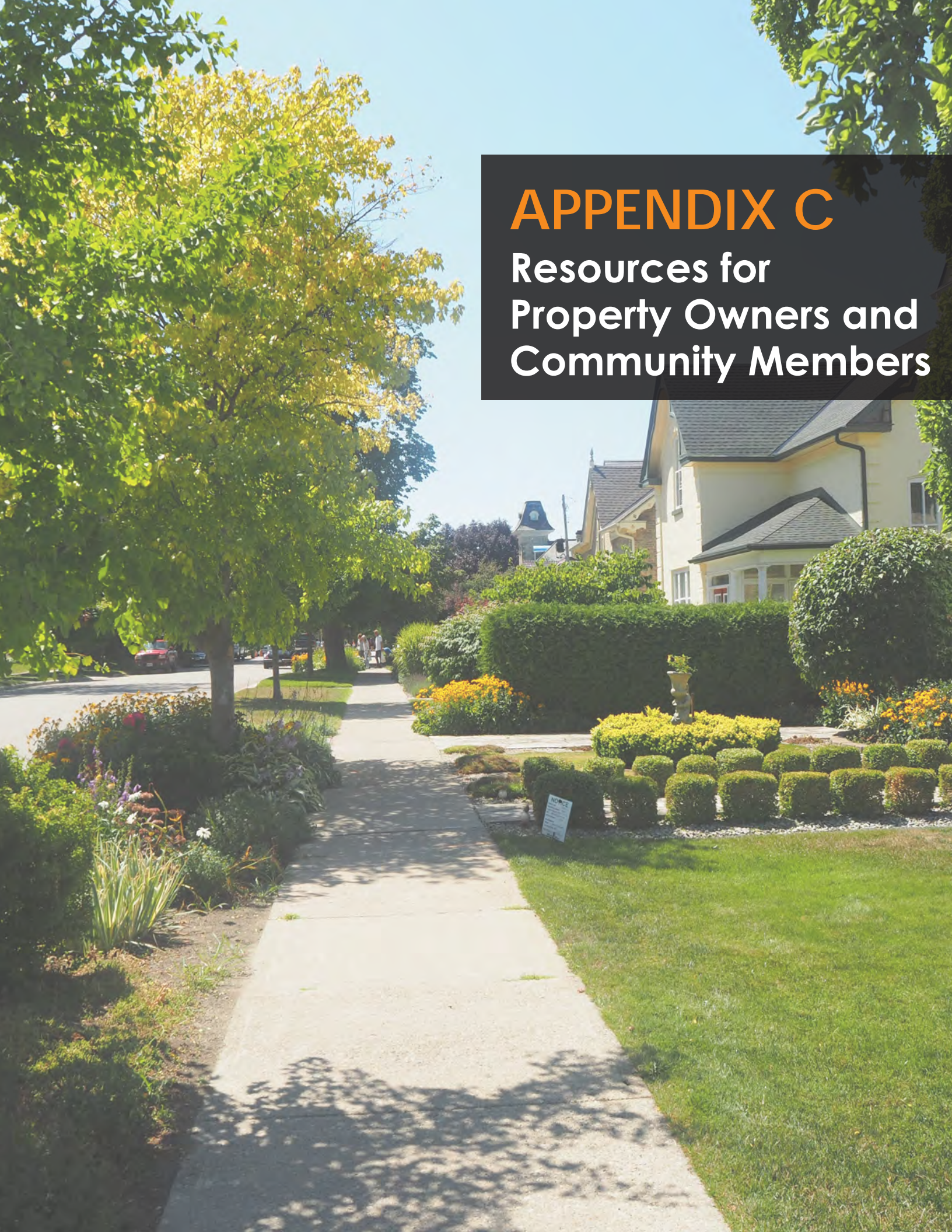
Address Number	Street Address	Historical Building Type
315	Durham Market North	Residential
325	Durham Market North	Residential
329	Durham Market North	Residential
335	Durham Market North	Residential
343	Durham Market North	Residential
312	Durham Market South	Other - Vacant
320	Durham Market South	Commercial
330	Durham Market South	Commercial
338	Durham Market South	Residential
346	Durham Market South	Residential
235	Harbour Street	Other – Inn
236	Harbour Street	Civic
249	Harbour Street	Commercial
252	Harbour Street	Other – Vacant
259	Harbour Street	Commercial
260	Harbour Street	Residential
262	Harbour Street	Residential
274	Harbour Street	Residential
279	Harbour Street	Commercial
284	Harbour Street	Commercial
286	Harbour Street	Commercial
291	Harbour Street	Commercial
322	Lambton Street	Residential
326	Lambton Street	Residential
330	Lambton Street	Commercial
336	Lambton Street	Commercial
334	Lambton Street	Residential
749	Princes Street	Residential
757	Princes Street	Other
669	Princes Street	Residential
680	Princes Street	Residential
681	Princes Street	Residential
686	Princes Street	Residential
689	Princes Street	Residential
705	Princes Street	Other - Training Centre
721	Princes Street	Institutional - Religious
731	Princes Street	Residential

Address Number	Street Address	Historical Building Type
737	Princes Street	Residential
743	Princes Street	Residential
744	Princes Street	Residential
750	Princes Street	Residential
756	Princes Street	Residential
766	Princes Street	Residential
769	Princes Street	Residential
776	Princes Street	Residential
779	Princes Street	Residential
786	Princes Street	Residential
791	Princes Street	Residential
795	Princes Street	Residential
796	Princes Street	Residential
803	Princes Street	Residential
804	Princes Street	Residential
809	Princes Street	Residential
810	Princes Street	Residential
813	Princes Street	Residential
816	Princes Street	Residential
817	Princes Street	Residential
708	Queen Street	Commercial
716	Queen Street	Commercial
724	Queen Street	Commercial
726	Queen Street	Commercial
727	Queen Street	Civic
728	Queen Street	Commercial
732	Queen Street	Commercial
735	Queen Street	Commercial
736	Queen Street	Commercial
737	Queen Street	Commercial
740	Queen Street	Commercial
743	Queen Street	Commercial
746	Queen Street	Commercial
747	Queen Street	Commercial
751	Queen Street	Commercial
756	Queen Street	Commercial
757	Queen Street	Commercial

Address Number	Street Address	Historical Building Type
757	Queen Street	Commercial
760	Queen Street	Commercial
761	Queen Street	Civic
765	Queen Street	Commercial
767	Queen Street	Commercial
768	Queen Street	Commercial
770	Queen Street	Commercial
775	Queen Street	Commercial
776	Queen Street	Commercial
777	Queen Street	Commercial
778	Queen Street	Commercial
787	Queen Street	Commercial
788	Queen Street	Commercial
790	Queen Street	Commercial
791	Queen Street	Commercial
798	Queen Street	Commercial
801	Queen Street	Commercial
804	Queen Street	Commercial
807	Queen Street	Commercial
809	Queen Street	Commercial
811	Queen Street	Commercial
814	Queen Street	Commercial
819	Queen Street	Commercial
822	Queen Street	Commercial
719-723	Queen Street	Civic
750-754	Queen Street	Commercial
784-786	Queen Street	Commercial
793-795	Queen Street	Commercial
707	Queen Street (Old Town Hall)	Civic
707	Queen Street (Victoria Park)	Civic

APPENDIX C

Resources for Property Owners and Community Members



The principles at the core of an HCD Plan are drawn from heritage best practices established at the provincial, federal and international level through guiding documents and charters. The principles outlined in this report are derived from the 2007 *Eight Guiding Principles in the Conservation of Built Heritage Properties* and the 2010 *Standards and Guidelines for the Conservation of Historic Places in Canada*. These documents provide overarching guidance on how to approach conservation, restoration or rehabilitation projects on historic buildings and can help property owners and community members understand the bigger picture of heritage conservation:

- <http://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>
- http://www.mtc.gov.on.ca/en/publications/InfoSheet_8%20Guiding_Principles.pdf

The policies and guidelines in this HCD Plan require and suggest maintenance and repair of heritage materials and features of the buildings in the HCD. Some policies and guidelines refer to specific materials or techniques that may be new to property owners not familiar with caring for heritage buildings. The National Parks Service at the United States Department of the Interior offers a series of Technical Preservation Briefs that provide useful guidance on preserving, rehabilitating and restoring historic buildings:

- <https://www.nps.gov/tps/how-to-preserve/briefs.htm>

Several specific briefs may be useful to property owners in Kincardine, such as:

- Repointing mortar joints (<https://www.nps.gov/tps/how-to-preserve/briefs/2-repoint-mortar-joints.htm>)
- Cleaning masonry buildings (<https://www.nps.gov/tps/how-to-preserve/briefs/1-cleaning-water-repellent.htm>)
- Improving energy efficiency (<https://www.nps.gov/tps/how-to-preserve/briefs/3-improve-energy-efficiency.htm>)
- Dangers of abrasive cleaning (<https://www.nps.gov/tps/how-to-preserve/briefs/6-dangers-abrasive-cleaning.htm>)
- Rehabilitating historic storefronts (<https://www.nps.gov/tps/how-to-preserve/briefs/11-storefronts.htm>)
- Applying alternative siding (<https://www.nps.gov/tps/how-to-preserve/briefs/8-aluminum-vinyl-siding.htm>)
- Making historic properties accessible (<https://www.nps.gov/tps/how-to-preserve/briefs/32-accessibility.htm>)

Maintaining, repairing and restoring historic buildings can require special approaches, tools, and methods. It is important to understand the nature of your building, its materials, and its needs before you begin your work. Seeking the advice of qualified professionals is advisable, particularly those with experience working with older buildings.

To find professionals with experience working with historic buildings and structures, you can search the Canadian Association of Heritage Professionals (CAHP) directory to find architects, consultants, tradespeople, historians and other specialists:

- <https://cahp-acecp.ca/professionals/>

Regeneration Works, a project of the National Trust for Canada, provides tools for communities, organizations and property owners who are working to renew and protect heritage places. Regeneration Works provides learning opportunities (webinars and in-person events) on topics geared towards raising funds, increasing revenue in heritage places, and revitalizing heritage places or downtown main streets. Regeneration Works also offers a program called Launch Pad, which provides grants to community organizations to help them pay for professional expertise to help them renew historic places. Browse the Regeneration Works website to see what tools might be useful to your community heritage projects:

- <https://regenerationworks.ca/>